

WENTWORTH ESTATES COMMUNITY DEVELOPMENT DISTRICT



REGULAR MEETING AGENDA

JUNE 10, 2021

PREPARED BY:

JPWARD & ASSOCIATES, LLC, 2301 NORTHEAST 37TH STREET, FORT LAUDERDALE, FL 33308

T: 954-658-4900 E: JimWard@JPWardAssociates.com

WENTWORTH ESTATES COMMUNITY DEVELOPMENT DISTRICT

June 3, 2021

Board of Supervisors

Wentworth Estates Community Development District

Dear Board Members:

This Regular Meeting of the Board of Supervisors of the Wentworth Estates Community Development District will be held on **Thursday, June 10, 2021** at **8:30 A.M.** at the Treviso Bay Clubhouse, **9800 Treviso Bay Boulevard, Naples, Florida 34113.**

The following WebEx link and telephone number are provided to join/watch the meeting. The District encourages those individuals who are not fully vaccinated to wear masks at all times during the meeting.

Weblink:

<https://districts.webex.com/districts/onstage/g.php?MTID=efb5121b48d07ce23528d1d9fcfa73c9b>

Access Code: **173 243 3112**, Event password: Jpward

Call in information if you choose not to use the web link:

Phone: **408-418-9388** and enter the access code **173 243 3112** to join the meeting.

The link to the meeting will also be posted on the District's web site: www.Wentworthestatescdd.org.

The Agenda is as Follows:

1. Call to Order & Roll Call.
2. Consideration of Minutes:
 - I. May 13, 2021 – Public Hearing
3. Consideration of **Resolution 2021-6**, a Resolution of the Board of Supervisors of Wentworth Estates Community Development District amending Resolution 2021-4 adopted May 13, 2021 to Replace Exhibit "B" (General Fund Special Assessment Methodology and Assessment

Roll due) to correct a clerical error, confirming its Certification of an Assessment Roll and approval of the General Fund Special Assessment Methodology.

- 4. Consideration of an Agreement with MBS Capital Markets for the re-financing of the District’s Series 2018 Bonds.
- 5. Staff Reports
 - I. District Attorney
 - II. District Engineer
 - III. District Asset Manager
 - a) Operations Report June 2021
 - IV. District Manager
 - a) Financial Statements for period ending April 30, 2021 (unaudited)
 - b) Financial Statements for period ending May 31, 2021 (unaudited)
- 6. Supervisor’s Requests and Audience Comments
- 7. Adjournment

The Second Order of Business is the Consideration of the May 13, 2021 Regular Meeting Minutes.

The Third Order of Business is the Consideration of **Resolution 2021-6**, a Resolution of the Board of Supervisors of Wentworth Estates Community Development District amending Resolution 2021-4 adopted May 13, 2021 to Replace Exhibit “B” (General Fund Special Assessment Methodology and Assessment Roll due) to correct a clerical error, confirming its Certification of an Assessment Roll and approval of the General Fund Special Assessment Methodology.

The Fourth Order of Business is the Consideration of an Agreement with MBS Capital Markets for the re-financing of the District’s Series 2018 Bonds.

The remainder of the agenda is standard in nature. In the meantime, if you have any questions and/or comments before the meeting, please do not hesitate to contact me directly at (954) 658-4900.

Sincerely,

Wentworth Estates Community Development District


James P. Ward
District Manager

Meetings for Fiscal Year 2021 are as follows:

June 10, 2021	July 8, 2021
August 12, 2021	September 9, 2021

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**MINUTES OF MEETING
WENTWORTH ESTATES
COMMUNITY DEVELOPMENT DISTRICT**

10 The Regular Meeting of the Board of Supervisors of Wentworth Estates Community Development
11 District was held on Thursday, May 13, 2021, at 8:30 a.m., at the Treviso Bay Clubhouse, 9800 Treviso
12 Bay Boulevard, Naples, Florida 34113.
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Present and constituting a quorum:

20 Joe Newcomb Chairperson
21 Robert Cody Vice Chairperson
22 Steve Barger Assistant Secretary
23 Joanne Lekas Assistant Secretary

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Absent:

29 Andrew Gasworth Assistant Secretary

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Also present were:

35 James P. Ward District Manager
36 Greg Urbancic District Attorney
37 Bruce Bernard Assets Manager, Calvin Giordano & Associates
38 James Messick

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Audience:

44 Tony Pires Shadi of Naples, Inc.
45 Mohammed Rahman Shadi of Naples, Inc.

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All resident's names were not included with the minutes. If a resident did not identify themselves or the audio file did not pick up the name, the name was not recorded in these minutes.

**PORTIONS OF THIS MEETING WERE TRANSCRIBED VERBATIM. ALL VERBATIM PORTIONS WERE
TRANSCRIBED IN *ITALICS*.**

FIRST ORDER OF BUSINESS

Call to Order/Roll Call

District Manager James P. Ward called the meeting to order at approximately 8:30 a.m. He conducted roll call; all Members of the Board were present, with the exception of Andrew Gasworth, constituting a quorum.

SECOND ORDER OF BUSINESS

Consideration of Minutes

March 11, 2021 – Regular Meeting

49 Mr. Ward stated the second order of business was consideration of the Minutes. He asked if there were
50 any additions, corrections, or deletions to these Minutes; hearing none, he called for a motion.
51

52 **On MOTION made by Mr. Robert Cody, seconded by Mr. Joe**
53 **Newcomb, and with all in favor, the March 11, 2021, Regular Meeting**
54 **Minutes were approved.**

55
56
57 **THIRD ORDER OF BUSINESS**

PUBLIC HEARING

58
59 Mr. Ward explained the public hearing process including public comment, Board discussion and vote.
60

61 **a. PUBLIC HEARING – FISCAL YEAR 2022 BUDGET**

62
63 **I. Public Comment and Testimony**

64
65 Mr. Ward called for a motion to open the Public Hearing.
66

67 **On MOTION made by Mr. Joe Newcomb, seconded by Mr. Robert**
68 **Cody, and with all in favor, the Public Hearing was opened.**

69
70 Mr. Ward asked if there were any public comments or questions with respect to the
71 Fiscal Year 2022 Budget. He noted public comments should be limited to 3 to 5 minutes
72 if possible.
73

74 Mr. Tony Pires representing Shadi of Naples, Inc., indicated he sent Mr. Ward an email
75 with his objections to the assessment rate for Fiscal Year 2021-2022. He stated he also
76 sent the Board Members a copy of his October 29, 2020, letter regarding the previous
77 years' assessments and his objections thereto. He noted with regard to the Operation
78 and Maintenance assessments, last year the Board approved a reduction; however, this
79 reduction was not included on the roll. He noted Mr. Ward indicated he would correct
80 this oversight with the tax collector. He discussed the FY 2021-2022 assessment and
81 listed his objections. (Portions of his statements were indecipherable. Mr. Ward asked
82 Mr. Pires to move closer to the microphone.)
83

84 *Mr. Pires: In 2006 was when the project was first indicated and is outlined in the*
85 *materials. There was a statement by the engineer for the District at the time, that the*
86 *commercial property received no benefit from the storm water management system.*
87 *The specific reference to that is outlined in my materials, and also contained in pages 7*
88 *and sheet 6a of April 28, 2006, Supplemental Engineer's Report, and said the*
89 *"community infrastructure which will be constructed will represent a system of*
90 *improvements that will provide benefits to all developable land within the District with*
91 *the exception of the planned commercial parcel." It goes on to say, "Any benefits that*
92 *the commercial parcel will receive from the District's infrastructure will be general in*
93 *nature, and as such no assessments will be allocated to this property." In 2012 there*
94 *was another Engineer's Report by Morrison Engineering, adopted by the Board in August*
95 *of 2012. In that Report it said the 2006 project was substantially completed. In other*

96 words, the fact that there was storm water management system, and all the other
97 capital infrastructure was substantially completed. Attached to the Engineer's Report
98 from 2012, was a map. This map is exactly the same map as the 2006 Engineer's Report.
99 The first 2006 Engineer's Report said, again, no benefit to the property from the
100 infrastructure, so that has not changed in our opinion. In addition, we have this
101 temporary sales facility. I provided the site development plan for this in the materials.
102 That shows the discharge to the canal off site, no discharge to any aspect of the storm
103 water management system of Wentworth Estates. This is from the South Florida Water
104 Management District Permit Application. (He presented a copy of this to the Board and
105 to Mr. Ward for the record.) He displayed and discussed copies of the stormwater plan
106 for the property showing the drainage system with no connection to Wentworth
107 Estates' system. Also interesting, in 2018, a revised assessment report and methodology
108 contained a number of references, and it said the resolving plan had changed, that the
109 cost had to be reallocated based on the new usage for each property within the District
110 (that's page 4 of Mr. Ward's Special Assessment Report dated 12/14/2017).
111 Interestingly enough, there is no reference to the commercial property in that report. I
112 will provide a copy of this later. It just said the allocation of the costs associated with the
113 construction of the surface water management system are based on utilization of this
114 system by each property owner within the District. It says the storm water management
115 system was designed to provide all treatment and flood protection for the entire District,
116 but then it goes on to say in section 6.1.2.3.2, "flood protection for all properties,
117 including the golf course." It does mention commercial in 6.1.2.4, "the above functions
118 of the storm water management system relieves other property owners, including the
119 golf course, from having to provide these functions in a separate system that would
120 otherwise have to be constructed to provide these services," and that all the areas
121 associated with the golf course, and all residential property, flows into the District's
122 storm water management system where treatment and flood protection is provided. I
123 think that's a critical component. Page 9 of Mr. Ward's December 2017 report adopted
124 by the Board by Resolution 2018-3, in 2018 is 6.1.2.6, "all the areas associated with the
125 golf course, including clubhouse and maintenance facility, and all residential property,
126 flows into the District storm water management system where treatment and flood
127 protection is provided." No reference to the commercial property. What other aspect
128 about the commercial property, which was noted in my correspondences, is that it has
129 been carried as 10 acres. It is 9.07 acres, but everything has been calculated based upon
130 10 acres, so that correction needs to be made on both a going forward and a retroactive
131 basis. The 10 acres came about because the plat says there is 10 acres of commercial,
132 but this tract is not the entire 10 acres of commercial, it is 9.07 acres as reflected in the
133 appraisal the Board had to perform in April of 2020 where Julian Stokes a well-respected
134 appraiser performed the appraisal and said it was 9.07 acres in size, so we believe that
135 also needs to be corrected. One other aspect is that the notice for today's hearing,
136 published 15 days prior to the public hearing, said all objections needed to be filed within
137 20 days of the date of the notice, so our argument is, and it's in our correspondence, is
138 that this hearing cannot adopt a budget or assessment roll today; you have to wait until
139 at least 20 days.

140
141 Mr. Greg Urbancic: Are you saying you did not have notice and that you didn't have
142 enough time to file objections? You personally didn't?
143

144 *Mr. Pires: That is correct. And others didn't either. It says you have to file objections*
145 *within 20 days. We filed objections within 20 days, but it gives everyone the opportunity*
146 *to have until May 18, 2021, to file objections. We would contend that's a notice law.*
147 *The Board continue the hearing until May 18th to consider the assessment roll and*
148 *Budget at that time. Then, in my opinion, it would meet the notice requirements. It in*
149 *the notice; it's gratuitous, but it's there, provided to the public as a whole. One other*
150 *question is, I wasn't able to ascertain, and I'm sorry if I didn't read the documents*
151 *properly, how the number of ERUs was assigned to this property. It varied at times. One*
152 *Engineer's Report had 79, one had 110. I think it is 91 at the present time. We would*
153 *like to have the information as to how it was revised. I didn't see the basis for that in*
154 *assessment Methodology that's in today's agenda packet. So, what we are asking for is*
155 *for 2021-2022 fiscal year, that the operation and maintenance assessment be reduced to*
156 *reflect the benefit accruing to the property solely from those discreet elements of the*
157 *infrastructure that they benefit the property, such as the road up to the gatehouse,*
158 *exclude the gatehouse, exclude access control, exclude all costs associated with the*
159 *water management system and exclude all costs for landscaping other than what might*
160 *be along 41 because the property is on U.S. 41. Additionally, we still object to the debt*
161 *service assessment based upon the same argument. That's a \$40,000 dollar number. I*
162 *believe it was a \$23,000 dollar number for the operations and maintenance assessment.*
163 *We reiterate our request for refunds for prior years, and don't waive that at all. Mr.*
164 *Rahman will address a concept plan showing all the water will be kept on site from this*
165 *project and did not discharge anything into the storm water management system.*

166
167 *Mr. Mohammed Rahman, President of Shadi of Naples: I just want to share with you in*
168 *2018 I had an Engineering Firm do the conceptual plan, and it shows the intention*
169 *(indecipherable).*

170
171 *Mr. Pires: On the black and white portion of that plan it shows the sales center facility,*
172 *which is again, the materials I provided from the South Florida Water Management*
173 *District showing the discharge not into the water management system. We are not*
174 *waiving any objection to the notice.*

175
176 *Mr. Urbancic: We could debate that.*

177
178 *Mr. Pires: We do appreciate the actions taken last year when it was reduced, but it*
179 *wasn't reduced, and that happened, and Jim is taking care of that. But again, I think on*
180 *an going forward basis the (indecipherable 16:24).*

181
182 *Mr. Ward asked if there were any members of the public on audio or video who had any*
183 *questions or comments from the Board; hearing none, he called for a motion to close*
184 *the public hearing.*

185
186 **On MOTION made by Mr. Joe Newcomb, seconded by Ms. Joanne**
187 **Lekas, and with all in favor, the Public Hearing was closed.**

188
189 **II. Board Comment**

190

191 Mr. Ward asked if there were any Board comments or questions specifically related to the
 192 Budget itself. He explained Mr. Pires' comments were related to the imposition of the
 193 Assessment, which is actually the next public hearing. There were no questions or comments.
 194

195 **III. Consideration of Resolution 2021-3 adopting the annual appropriation and Budget for Fiscal**
 196 **Year 2022**

197
 198 Mr. Ward called for a motion for Resolution 2021-3.
 199

200 **On MOTION made by Mr. Robert Cody, seconded by Mr. Joe**
 201 **Newcomb, and with all in favor, Resolution 2021-3 was adopted, and**
 202 **the Chair was authorized to sign.**

203
 204 **b. FISCAL YEAR 2022 IMPOSING SPECIAL ASSESSMENTS; ADOPTING AN ASSESSMENT ROLL AND**
 205 **APPROVING THE GENERAL FUND SPECIAL ASSESSMENT METHODOLOGY**
 206

207 Mr. Ward indicated this public hearing was related to the imposition of the special assessments for
 208 the general fund, certification of an assessment roll, and approval of the special assessment
 209 methodology for the District.
 210

211 **I. Public Comment and Testimony**
 212

213 Mr. Ward called for a motion to open the Public Hearing.
 214

215 **On MOTION made by Mr. Joe Newcomb, seconded by Mr. Robert**
 216 **Cody, and with all in favor, the Public Hearing was opened.**

217
 218 Mr. Ward asked if there were any public comments or questions.
 219

220 *Mr. Pires: For the record, I would like to have the Board incorporate into this section all*
 221 *the comments, objections and materials noted in the Budget Hearing. (Please see the*
 222 *Budget public hearing above for Mr. Pires' statements pertaining to this public hearing.)*
 223

224 *Mr. Ward: We will incorporate all of that into the record.*
 225

226 *Mr. Pires: Additionally, I would like to make part of the record the letter that was sent*
 227 *on May 12, 2021, to all the Board Members, Mr. Ward and Mr. Urbancic. A couple of*
 228 *other additional comments with regard to the proposed assessments. We, Shadi of*
 229 *Naples, contend that there are no special benefits to the property from the facilities,*
 230 *services, and improvements of the District, including, but not limited to, the storm water*
 231 *management system, access control, and gates, and irrigation system. We also dispute*
 232 *we don't know what the basis is for the assigned number of ERU's reflected in the*
 233 *assessment methodology report in today's agenda, for this property. It also appears to*
 234 *have been based upon 10 acres versus 9.07 acres and we reiterate that objection. We*
 235 *also object to the debt service assessment based upon the same arguments we made*
 236 *earlier. I would like to have the District articulate its position as to what the special and*
 237 *peculiar benefits that flow to the property are. Again, I believe we've shown that this,*

238 *from the 2006 Engineer's Report, 2012 Engineer's Report, Mr. Shadi's diagram which is*
239 *in the record, that this project is not connected to or part of the overall integral water*
240 *management system for Wentworth Estates Community Development District. What I*
241 *would like to also make sure the record we have previously attached and included the*
242 *excerpts from the 2006, my prior letter, which also references the excerpts form 2006*
243 *and 2012 where the Engineers specifically stated, "None of the CDD improvements are*
244 *necessary for the development of the commercial tract." Going on to talk about the*
245 *infrastructure "which will be constructed will represent the system of improvements that*
246 *will provide the benefits to all developable land within the District with the exception of*
247 *the planned commercial parcel," as described further in section 5.1 of this report, and*
248 *again that's the 2006 report. In the Special Assessment Methodology, it also addressed*
249 *this same issue. Again, by August of 2012 the improvements referenced in 2006 that*
250 *provide no benefit to this property were substantially completed. While the 2012*
251 *Engineer's Report says there is a benefit to this property, it doesn't articulate how a*
252 *benefit occurred. In 2012 this project was completed, there is no indication that the*
253 *project was changed as to the storm water management system with regard to this*
254 *property. Again, based upon that and everything else I provided earlier, we request that*
255 *the assessments not be imposed upon this property as to that part attributable to the*
256 *storm water management system, or any features past the gate, and also that the*
257 *operation and maintenance assessments not include any component associated with the*
258 *storm water management system, or any landscaping or features beyond the gate on*
259 *Treviso Bay Boulevard. We reserve all rights and objects to further contest this as*
260 *appropriate. Thank you very much. Mr. Rahman's testimony is reiterated as part of this.*

261
262 *Mr. Ward: It will be so incorporated. Before we get to responding to Mr. Pires'*
263 *comments I will just ask are there any other members of the public present by audio or*
264 *video today that have any public comment with respect to the assessment for Fiscal Year*
265 *2022 for the District. There were none.*

266
267 *Mr. Pires reiterated his objection regarding the public notice.*

268
269 *Mr. Urbancic: Just for the Board, Mr. Ward and I took a look at that, and essentially*
270 *what we have is last year, for this current fiscal year, Jim's office had done notices that*
271 *we were required to do to raise our cap rate and increase the assessments. At that time,*
272 *mailed notices and also published notices were done in accordance with Chapter 197 of*
273 *Florida Statutes. This year, we weren't increasing the assessments beyond the cap rate*
274 *that we established, so that takes us out of one of the notice provisions; however, I think*
275 *Jim's office took a more comprehensive notice than we actually had to do and published*
276 *it in the newspaper. So, I think there is more there than we legally had to do, and so*
277 *what we had to do was publish two notices, one 15 days prior to the hearing, which was*
278 *done, and then a second notice a week later, which was done. So, we technically have*
279 *met the notice requirements in terms of if we are looking at technical requirements,*
280 *because we are not increasing assessments beyond the cap rate which we did adopt*
281 *pursuant to Chapter 197. So, that's why some of the confusion had arose. I wanted to*
282 *see whether Mr. Pires thought he didn't have notice, and whether or not they didn't*
283 *have time to present their case. Clearly, we have given them an opportunity today. I*
284 *just wanted to at least respond to that portion of it. The only other comment I would*
285 *make, I wasn't the attorney at the time, but in 2012 this District did adopt a revised*

286 *Engineer's Report prepared by Morris Engineering which relooked at the infrastructure*
287 *that was constructed and approved and did reallocate the assessments based upon*
288 *benefit. That's what we are living under today, and the assessment methodology in*
289 *terms of capital improvements was done. I know there was discussion of 2006, but there*
290 *was actually a process in 2012 to redo that and so that's kind of what we are living*
291 *under today in terms of capital improvements. I know Jim may have some additional*
292 *comments on where we are today in terms of our maintenance assessment, but I at least*
293 *wanted to put that out there.*

294

295 *Mr. Ward: Shadi of Naples is talking about two different special assessments that we*
296 *have. One is the debt assessment for our bonds and the second is our operating*
297 *assessment. Subject of today's hearing is related only to your general fund operating*
298 *assessment. This is not related to your debt assessments. As Greg pointed out to you,*
299 *those assessments were done originally in 2006, as Mr. Pires also pointed out. Those*
300 *were revised in 2012, subsequent to a complete land use plan change and that was*
301 *revised and relooked at by a new Engineer at the time who made different*
302 *determinations as to the benefit that accrues to the Shadi property as it relates to our*
303 *capital assessments and that's what we are living under right now. As far as your*
304 *operating assessment is concerned, when we started into the program for operations,*
305 *the original idea was to just look at the Shadi property in terms of what the assessment*
306 *should be, what a reasonable if it was some kind of residential property. Mr. Rahman,*
307 *last year, as you may recall, I had discussions with him prior to the public hearing with*
308 *respect to that assessment. He objected to the 91 units. I relooked at that before that*
309 *public hearing last year in terms of how it was done for the debt assessments. And that*
310 *property bears about 2% or 2.1% of the overall assessment for the program, so we*
311 *revised that for the 2021 assessments down from the 91 units to 2%, so it reduced the*
312 *assessment from \$46,000 dollars down to \$22,000 dollars on average. In this year's*
313 *assessment, that is done exactly the same way, so the assessment for this property is*
314 *essentially equal to how the calculation was done for the debt assessments, roughly*
315 *2.1% of the overall assessment program. I frankly thought that was a fair way to*
316 *allocate the assessments for this District. The key issue here that Tony raised is that he*
317 *doesn't benefit from the storm water management system, either for debt or for*
318 *operations, but only for landscaping and road. Clearly the engineer at the time in 2012*
319 *who did that original engineering report said otherwise. Basically, this said that they do*
320 *benefit structurally from all of the improvements that were done, which were primarily*
321 *the preserves for the property, the storm water management system, the entrance road,*
322 *landscaping, SW Boulevard improvements, those kinds of things, all provided benefit to*
323 *this property. The report that you have in your Agenda, and even the report that Tony*
324 *references of 2012 that I did for the revision to that report, generally we don't always*
325 *mention commercial property or other parts in a report. You look at a District's*
326 *assessments from an overall perspective, who is in the District and how does everybody*
327 *benefit from that. How that shakes out is usually in the Engineer's Report which Morris*
328 *presented to the Board at the time for the debt assessments and I basically now mirror*
329 *that process in your operating assessments. So, clearly, we do think that the 2% of the*
330 *overall cost of the system is a fair allocation for the commercial property for your*
331 *operating assessments for 2021 as that was recommended to you and as Mr. Rahman*
332 *knew at that time that we did. And obviously that is recommended to you for 2022. I*

333 *think I got all of Tony's questions, or most of them at this point. Any questions from the*
334 *Board?*

335
336 *Mr. Pires: You mentioned an allocation of 2% of the overall. What's the basis of the 2%?*
337 *What's the utilization factor?*

338
339 *Mr. Ward: Those are all based out of the Engineer's Report that Morris Engineering did*
340 *in 2012. If you look at that, you will see that the overall allocation was roughly 2% of*
341 *whatever the infrastructure costs were at that time.*

342
343 *Mr. Pires: What was the difference in the construction of the storm water management*
344 *system between 2006 when Johnson Engineering did the report for the original project*
345 *and 2012 when Morris said the project is complete?*

346
347 *Mr. Ward: That would not be a question I could answer for you. You would have to read*
348 *both of those Reports and make that determination.*

349
350 *Mr. Pires: I did and there is no articulation as to why the determination was made in*
351 *2012. As I mentioned this is a 2006 drainage exhibit, this is the 2012 drainage exhibit,*
352 *and it is exactly the same. There is no reference in the 2012 Report to any connection of*
353 *this property to the storm water management system. There is no indication to any*
354 *factual basis for that determination made. That's why my letters have said it appears*
355 *arbitrary and inclusive without any basis. The District I think has an obligation to explain*
356 *what was the functional in the ground difference between the project as approved in*
357 *2006 and that which was substantially completed in 2012 that this property now*
358 *benefits from the storm water management system.*

359
360 *Mr. Ward: Again, you would have to go back and read those reports. I don't have them*
361 *in front of me and I did not review them for today's hearing, so I would not be able to*
362 *answer that question for you.*

363
364 *Mr. Pires: Secondly, where would this property discharge into the storm water*
365 *management system?*

366
367 *Mr. Ward: Tony, I would not know the answer to that question.*

368
369 *Mr. Pires: Lastly, South Florida Water Management District permits for Wentworth*
370 *Estates, (indecipherable).*

371
372 *Mr. Ward: I would not know the answer to that question.*

373
374 *Mr. Pires: I think it would be important to know that, otherwise, in our opinion it is*
375 *inclusory, arbitrary, and (indecipherable). That Engineer's Report was also reiterated in*
376 *2018. It wasn't just 2012, so the four-year clock starts (indecipherable 34:34).*

377
378 *Mr. Urbancic: Tony, was your client not on notice of the assessments when they bought*
379 *the property.*

380

381 *Mr. Pires: That's irrelevant as to whether or not they are valid. And again, the four-year*
382 *clock began again in 2018, as that's when a further revised assessment report and*
383 *methodology was done based upon the refinancing of the 2006 bonds, that occurred in*
384 *January 2018.*

385
386 *Mr. Ward: I am not sure I would agree with you on the clock starting in 2018, because it*
387 *was a refinancing of a bond issue. It was not a reallocation. It was a refinancing of a*
388 *bond issue with the same allocation from 2012.*

389
390 Mr. Ward called for a motion to close the Public Hearing.
391

**On MOTION made by Mr. Joe Newcomb, seconded by Mr. Robert
Cody, and with all in favor, the Public Hearing was closed.**

392
393
394
395 **II. Board Comment**

396
397 Mr. Ward asked if there were any questions or comments from the Board; there were none.
398

399 **III. Consideration of Resolution 2021-4 imposing special assessments, adopting an assessment**
400 **roll, and approving the general fund special assessment methodology**

401
402 Mr. Ward called for a motion for Resolution 2021-4.
403

**On MOTION made by Mr. Joe Newcomb, seconded by Ms. Joanne
Lekas, and with all in favor, Resolution 2021-4 was adopted, and the
Chair was authorized to sign.**

404
405
406
407
408 Mr. Pires asked about the reference to the property as being 10 acres in the Resolution. He
409 indicated the property was only 9.07 acres.

410
411 Mr. Ward explained the assessment was based on the percentage of the overall infrastructure
412 as it relates to the bond issuance; it was 2%, not based on 10 acres. He explained every
413 methodology done in the State used an average acreage; special assessments were not
414 calculated according to exact lot size, but instead on an average lot size, as was done in every
415 special assessment.

416
417 *Mr. Pires: I respectfully disagree because the record reflects it has been based upon 10 acres.*
418 *That the 2% was based upon 10 acres.*

419
420 Mr. Ward thanked Mr. Pires for his comments.
421

422
423 **FOURTH ORDER OF BUSINESS** **Consideration of Resolution 2021-5**

424
425 **Consideration of Resolution 2021-5 designating dates, time, and location for regular meeting of the**
426 **Board of Supervisor's for Fiscal Year 2022**

428 Mr. Ward stated the Wentworth Estates CDD Meetings were set for the second Thursday of every
429 month at 8:30 a.m. at the Treviso Bay Clubhouse, 9800 Treviso Bay Boulevard, Naples, Florida 34113.
430 He explained every meeting was advertised at once to save funds, but only necessary meetings were
431 held. He asked if there were any questions; hearing none, he called for a motion.

432
433 **On MOTION made by Mr. Robert Cody, seconded by Ms. Joanne Lekas,**
434 **and with all in favor, Resolution 2021-5 was adopted as amended, and**
435 **the Chair was authorized to sign.**

436
437 Ms. Lekas asked when the next meeting was to be held.

438
439 Mr. Ward stated he did not believe another meeting would be necessary until the fall.

440
441

442 **FIFTH ORDER OF BUSINESS**

442 **Consideration of Reserve Study Proposal**

444 **Consideration of a First Time Reserve Study Proposal from Dreux Isaac & Associates**

445

446 *Mr. Ward: We had discussed during your initial budget hearing a reserve study for this District to gauge*
447 *the value of our assets on a going forward basis, especially as we have a large bridge, a lot of*
448 *landscaping, the stormwater program, etc. I secured a proposal from Dreux Isaac and Associates. I am*
449 *only familiar with them in that I have seen their work on some homeowner's associations that have been*
450 *done. I know they are doing a few districts. They are doing another district that I represent, and Bruce is*
451 *associated with and actually Greg is associated with. Their fee is \$18,000 dollars for the study and then*
452 *they update them on a yearly basis for \$3,600 dollars. I would like to authorize this today, simply to be*
453 *able to get on the schedule in the fall of this year. It will be done in Fiscal Year 2022, but we will*
454 *authorize it today because they are an extremely busy firm, the work is extraordinary when you see it,*
455 *but they are two or three months out before you can get on their schedules. This gives us all your assets*
456 *and all of their current values, and what it would take to actually reserve for them, if you wanted to*
457 *reserve for them, on an ongoing basis. We will have a good idea of the values of our assets, not only for*
458 *insurance purposes, but so you know in the event that we have some kind of a storm event, etc., what*
459 *kind of values we are looking at in case we need to do any renewal or replacement of those.*

460

461 *Mr. Steve Barger: We currently are not reserving any monies for these assets?*

462

463 *Mr. Ward: Correct.*

464

465 *Mr. Barger: Is that part of the intent behind this, to start to create a reserve? Is that something that is*
466 *required by law or allowed by law?*

467

468 *Mr. Ward: Not required. It is permitted. I think the first step is to see what the values are. Personally, I*
469 *think it is a better use that we have these values to know what kind of values, what we are looking at in*
470 *terms of if we have to do any renewal and replacements in the event of storms. What I have seen in*
471 *Districts over the last 5 years or so is, the number of storms we are having in Florida are adversely*
472 *impacting the capital infrastructure that Districts have, whether it is landscaping or lights or bridges, etc.*
473 *Based upon what we see in these reports we may want to reserve something. I'm not going to sit here*
474 *and tell you you're going to reserve everything that you are going to get out of this report, because this*

475 *will be a big report, but it's something to look at in terms of if we want to move forward and do some*
476 *kind of reserve for storm events is what I was thinking.*

477

478 *Mr. Barger: For instance, things like fountain infrastructure replacement, we could, or maybe should be*
479 *reserving for that.*

480

481 *Mr. Ward: Yeah, the smaller items, that's probably something we should take a look at doing, especially*
482 *since you have fountains out here. The bridge, probably not so much, but you've got streetlights here.*
483 *We do have a water management system which will stay primarily in place, but you've got lake bank*
484 *restorations to do. You might have pipes that get broken on a periodic basis, so there are smaller items*
485 *that we should look at in the context of this report on a going forward basis, especially now that we have*
486 *now taken over all of the assets from the HOA for operations and maintenance that the District does*
487 *own. It's an appropriate time for us to begin looking at this.*

488

489 He asked if there were any additional questions; hearing none, he called for a motion.

490

491

On MOTION made by Mr. Joe Newcomb, seconded by Mr. Andrew Gasworth, and with all in favor, the First Time Reserve Study Proposal from Dreux Isaac & Associates was approved.

492

493

494

495

496 **SIXTH ORDER OF BUSINESS**

Consideration of Agreement

497

498 **Consideration of Agreement with Calvin, Giordano, and Associates for Additional Services within the**
499 **District**

500

501 Mr. Ward asked Mr. Bruce Bernard to review this Item.

502

503 *Mr. Bruce Bernard: This is a proposal from Calvin, Giordano to do a study of what we have there right*
504 *now, our existing lighting, and to do our plan for upgrading the lighting. As we talked about before, we*
505 *are looking to do some improvements along 41. As you know right now, we have no light along either*
506 *side of the entrance, so coming to the property there is nothing lit up out there showing where we start,*
507 *where we stop, or anything. The lighting we have out there right now is old and the originally lighting.*
508 *Some of it's broken and not working. So, what we want to do is do a study of what we have and what*
509 *we need so we can do a plan. This is just the plan. The bidding out of the work would be in next year's*
510 *fiscal budget. To upgrade that lighting and get it all reset so it looks like it – I would say a third of it right*
511 *now is broken and not working, and all of those fixtures our there right now are the original fixtures.*

512

513 *Mr. Barger: Do you have an idea of what we are talking about in terms of expenditure to do this*
514 *program? Just ballpark? I know the reason for the study is to get an idea.*

515

516 *Mr. Bernard: I'm ballparking between \$35,000 and \$45,000 dollars once we get the plan, to bid it out.*
517 *We have a lot of the existing electrical there. The only new electrical we will have to run is out front on*
518 *41, to extend down in the front of the property, but the rest of it will be the new fixtures, where the*
519 *lighting is now, to get new lighting fixtures out there where wires are run to. The electrical engineer will*
520 *also make sure we have enough power and where to get the power from, out of the existing power we*
521 *have there.*

522

523 *Mr. Bob Cody: Someone should get the HOA to be aware of this.*

524

525 *Mr. Bernard: I don't know if they need to be aware of it or not. Most of the improvement will be out on*
526 *41. Everything else, the lines are existing where they were before. Once we get a plan and stuff, if we*
527 *need to, we can send it to the HOA if you would like to, but it is not going to be changing basically what*
528 *we have there. We have the wires already run to certain locations. The only new locations will be out on*
529 *41 highlighting our landscaping on both sides of the entrance.*

530

531 *Mr. Barger: Would this be a low voltage system?*

532

533 *Mr. Bernard: Pretty much. There is not going to be any high voltage out there. It is the same as what*
534 *we have out there, and those lights we have out there now are low voltage. The \$35,000 dollars is*
535 *above the \$15,000 dollars. The \$15,000 dollars is just to get the plan. And that's pretty much the last*
536 *thing we have to do out on the entrance. In the last two years we done every other improvement out*
537 *there.*

538

539 *Mr. Barger: How long would it take to do the plan?*

540

541 *Mr. Bernard: We will probably have this in two months.*

542

543 *Mr. Barger: Is there money budgeted in the 2022 budget we just adopted to do the lighting?*

544

545 *Mr. Bernard: Yes.*

546

547 *Mr. Barger: Do you remember what the number is?*

548

549 *Mr. Bernard: \$35,000 dollars, I think.*

550

551 *Mr. Barger: Jim, do we have the money in this year's budget to develop the plan?*

552

553 *Mr. Ward: In this year's budget we will have the money to develop the plan. I was going to hold off*
554 *actually starting this probably for a month or two before we actually get started, so it would be closer to*
555 *year end when I have a better feeling for our actual expenditures, but at the moment I'm saying we*
556 *would have sufficient funds to do this.*

557

558 *Mr. Barger: So, what I'm hearing is, even if we approve this today, we might not do it this year if funds*
559 *are not available.*

560

561 *Mr. Ward: Right now, I'm just trying to hold off until July to get the CGA started on this. At the moment,*
562 *based upon our projections, we will have sufficient funds to do it.*

563

564

**On MOTION made by Mr. Robert Cody, seconded by Ms. Joanne Lekas,
and with all in favor, the Agreement with Calvin, Giordano, and
Associates for Additional Services within the District was approved.**

565

566

567

568

569 **SEVENTH ORDER OF BUSINESS** **Staff Reports**

570

571 **I. District Attorney**

572

573 No report.

574

575 **II. Asset Manager**

576

577 **a) Operations Report April 2021**578 **b) Operations Report May 2021**

579

580 *Mr. Bernard: Our lake maintenance restoration will be completing this month. I have done about*
581 *5,600 linear foot of bank restoration. We got a report from Ivan Vincent on our Howard preserve*
582 *parcel, but South Florida Water Management District permit back in 2004. We are monitoring a*
583 *panther preserve in Hendry County as part of our South Florida Water Management District permit*
584 *for all of the work done here, and it's passed. Everything is good. I'm going to have Ivan Vincent get*
585 *with SFWM now and see if we can get a final – they say after so many years you are allowed to get*
586 *away from doing it. It has been 15 years. It costs us \$4,000 dollars a year to monitor. We don't do*
587 *anything up there, we just send them out to check it and make sure they give you a list of all the*
588 *animals that are there and everything that's nice. So, I am going to get him to get with South Florida*
589 *Water Management and do a final inspection of it and see if we can get relieved of having to keep*
590 *monitoring this preserve next year. We do not own this preserve; we just monitor it.*

591

592 Discussion ensued regarding the District not owning the panther preserve, other District's preserves,
593 Hendry County preserves and mitigation.

594

595 *Mr. Barger: So, this is something we are required to do as part of the mitigation for the development*
596 *of the entire Wentworth District. So, that benefits every parcel in the District, is that correct?*

597

598 *Mr. Ward: Correct.*

599

600 *Ms. Lekas: Are you talking about the lakes, trying to clean up the lakes, is that what we are talking*
601 *about here?*

602

603 *Mr. Bernard: This is a parcel of land that's in Hendry County. South Florida Water Management*
604 *District said you are taking away all this area for panthers here, you need to mitigate and keep this*
605 *area up in Hendry County for the panthers to be able to use. It's a swap of area. Even though you*
606 *don't own it, you get the right to pay for the mitigation of this area.*

607

608 *Ms. Lekas: Okay. Could there be periodic communication to the community of how the lake*
609 *restoration is going? Maybe periodic updates on the things in the water as they are supposed to be*
610 *cleaning up the water? I know there was some communication to the Treviso Bay Community a*
611 *while back, but maybe some periodic communication and a reasonable schedule updating?*

612

613 *Mr. Bernard: We get a quarterly report from this. This is the first quarterly report, and it ended the*
614 *end of March. Basically, this report shows graphs of everything that's there. The report is sent to*
615 *me.*

616

617 *Ms. Lekas: I'm thinking more in layman's terms. Nothing fancy.*

618

619 *Mr. Ward: So, the first quarterly report basically said, hey, we installed them with pictures of people*
620 *putting these things out there, so there is really nothing to report at this time. It will probably be a*
621 *few more months before we start to see data, and then I agree with you. We probably can get*
622 *something to your HOA to publish somewhere.*

623

624 *Ms. Lekas: Part 2 is, I guess some people have seen from the lake grass, spraying of roundup.*

625

626 *Mr. Bernard: We do not spray roundup.*

627

628 *Ms. Lekas: So, that was false information or if someone was spraying roundup it wasn't the CDD.*

629

630 *Mr. Bernard: We spray a different chemical. There are only a few chemicals you are able to spray*
631 *around lake banks that are soluble in the water. Roundup is not one of them.*

632

633 *Mr. Ward indicated the CDD was not permitted to use roundup near a body of water; no one was*
634 *permitted to use roundup near a body of water.*

635

636 *Mr. Barger: The southeast entrance fountain. Is that working completely? Is that full functional?*

637

638 *Mr. Bernard: They were working on it again yesterday. At this time of the year the leaves are*
639 *shedding so bad that it clogs up the main drain. You will see it actually works a bit and stops. It's*
640 *like pulsating. They cleaned it up yesterday. They will be out again today to finish, but it is working*
641 *a lot better today than it was at the beginning of the week. The pumps and everything are*
642 *functional, it's just the buildup of leaves going into the fountain. I saw them yesterday take out three*
643 *5-gallon buckets just out of the main drain.*

644

645 *Mr. Barger: Have you had a chance to look at those 4-inch PVC pipes that come out of the ground?*

646

647 *Mr. Bernard: I just got a proposal yesterday to do some planning enhancements up on the far east*
648 *end behind the wall, in front of the wall, almost to the end of our property, and in that proposal is*
649 *the removal of those flag holders we have out front in the ground. I will be approving that this week*
650 *and hopefully they will be out there in a few weeks to take them out.*

651

652 **III. District Engineer**

653

654 *No report.*

655

656 **IV. District Manager**

657

658 **a) Report on Number of Registered Voters as of April 15, 2021**

659 **b) Financial Statements for period ending March 31, 2021 (unaudited)**

660

661 *Mr. Ward indicated Statute required the Supervisor of Elections to report the number of registered*
662 *voters in the District. He reported as of April 15, 2021, there were 898 registered voters within the*
663 *District. He noted this number had no significance for the District any longer as the CDD had already*
664 *transitioned from landowner-controlled boards to qualified elector-based boards. He noted the*

665 Board would receive an update regarding the number of registered voters in the District annually as
666 a matter of record. He asked if there were any questions; there were none.

667

668

669 **EIGHTH ORDER OF BUSINESS**

Supervisor’s Requests and Audience Comments

670

671 Mr. Ward asked if there were any Supervisor’s requests or questions from the Board; there were none.
672 He asked if there were any audience members present by audio or video with comments or questions;
673 there were none.

674

675

676 **NINTH ORDER OF BUSINESS**

Adjournment

677

678 Mr. Ward adjourned the meeting at 9:30 a.m.

679

**On MOTION made by Mr. Joe Newcomb, seconded by Ms. Joanne
Lekas, and with all in favor, the meeting was adjourned.**

680

681

682

683

Wentworth Estates Community Development District

684

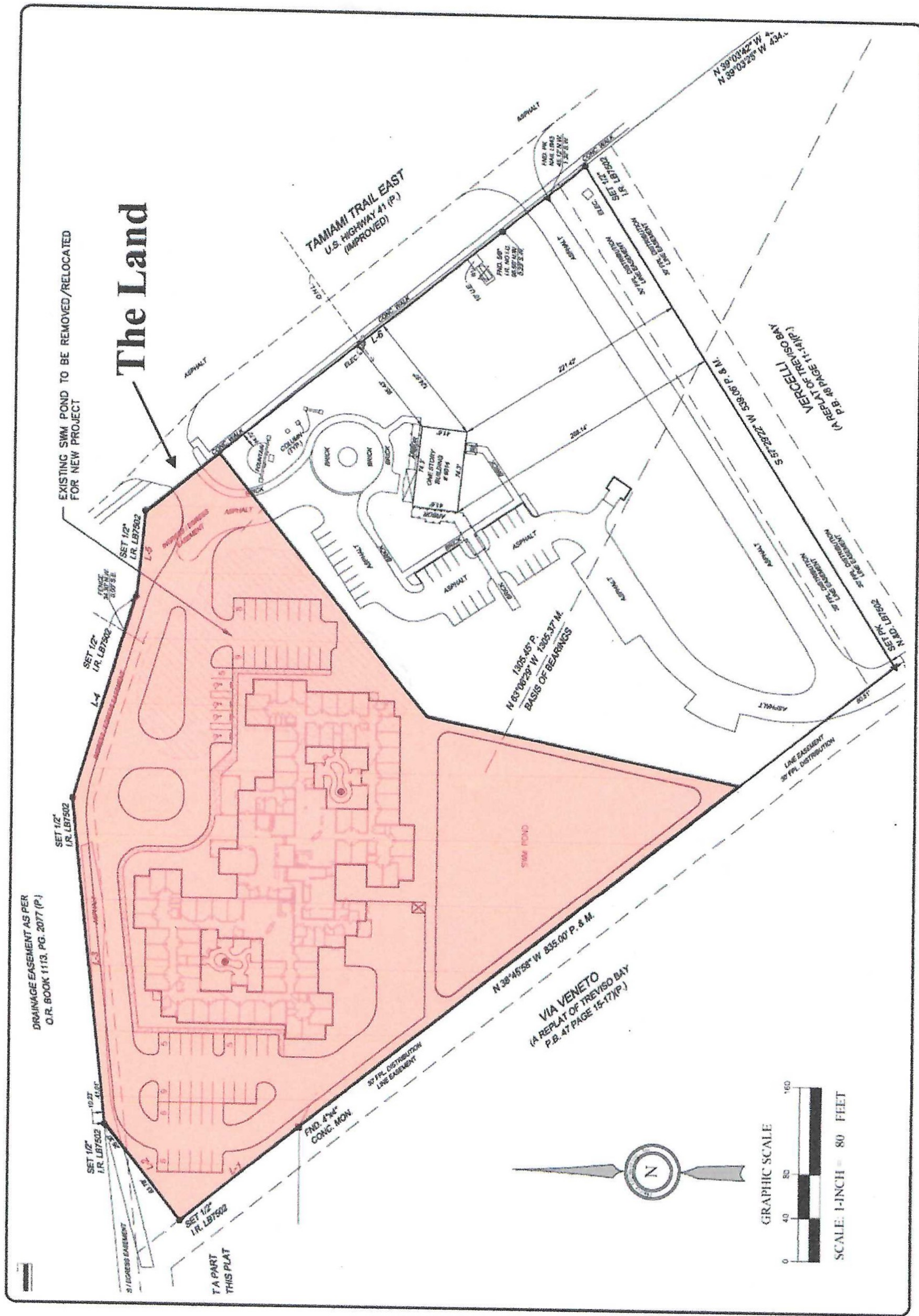
685

686

687 _____
James P. Ward, Secretary

Joe Newcomb, Chairman

EXHIBIT "A"



Index of Plans

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL EXHIBIT AND PLUMBERS MAP
3	EROSION CONTROL PLAN
4	TOPOGRAPHIC MAP
5	MASTER SITE PLAN
6	TYPICAL SECTIONS
7	PAVING, GRADING AND DRAINAGE PLAN
8	WATER MANAGEMENT DETAILS
9	PAVING, GRADING AND DRAINAGE DETAILS

SERVICE PROVIDERS

WATER, SEWER, GAS
 COLIER COUNTY WATER DEPARTMENT
 1000 W. COLIER BLVD. SUITE 100
 MIAMI, FL 33135
 PHONE: (305) 772-2222

PLUMBING
 J. J. HARRIS & SONS
 1000 W. COLIER BLVD. SUITE 100
 MIAMI, FL 33135
 PHONE: (305) 772-2222

ENGINEERING
 JOHNSTON ENGINEERING
 2750 STARBUCK COURT
 MIAMI, FL 33135
 PHONE: (305) 438-9300

CONCRETE
 CONCRETE CONSTRUCTION
 1000 W. COLIER BLVD. SUITE 100
 MIAMI, FL 33135
 PHONE: (305) 772-2222

PAVING
 PAVING SERVICES
 1000 W. COLIER BLVD. SUITE 100
 MIAMI, FL 33135
 PHONE: (305) 772-2222

GRADING
 GRADING SERVICES
 1000 W. COLIER BLVD. SUITE 100
 MIAMI, FL 33135
 PHONE: (305) 772-2222

EROSION CONTROL
 EROSION CONTROL SERVICES
 1000 W. COLIER BLVD. SUITE 100
 MIAMI, FL 33135
 PHONE: (305) 772-2222

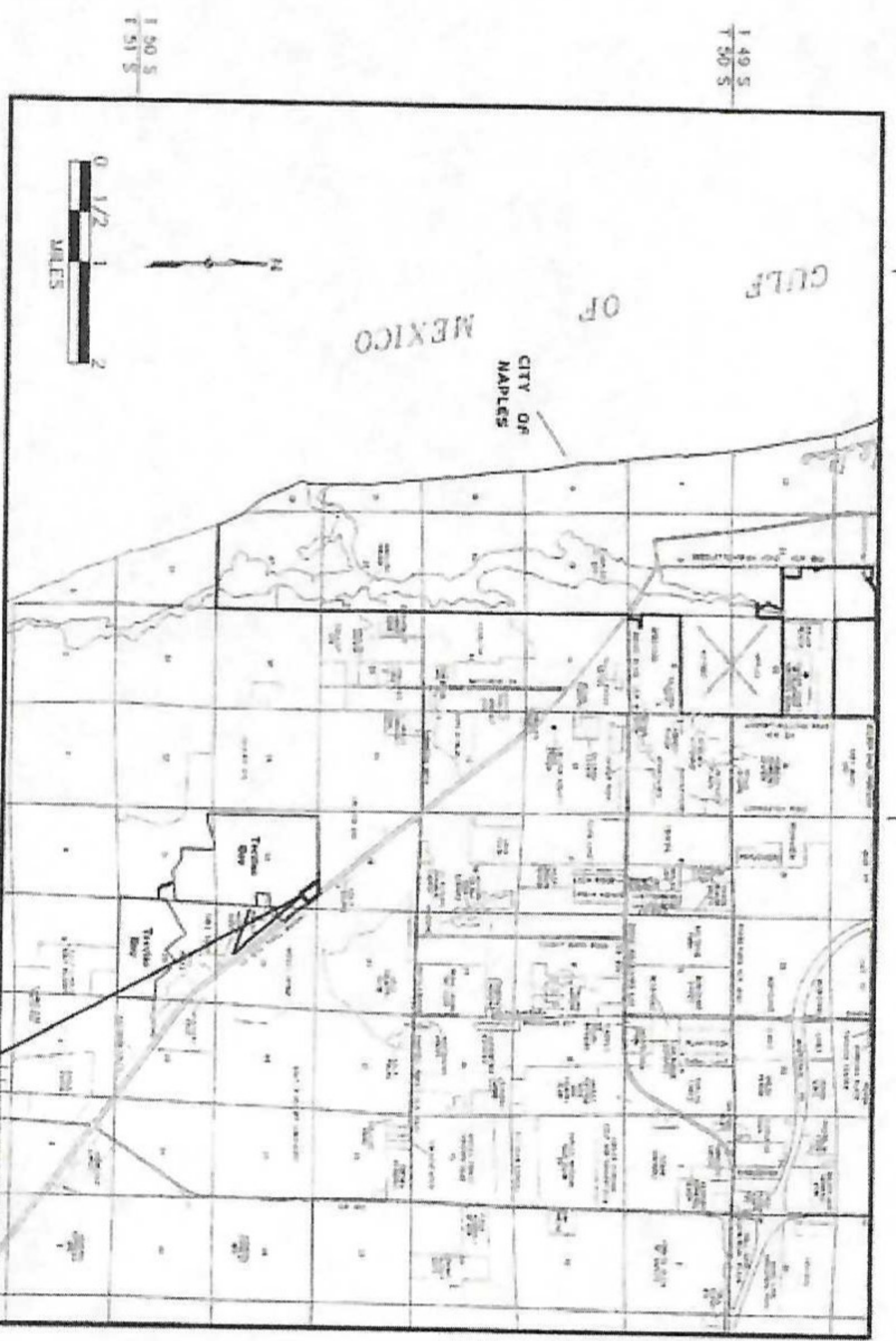
LANDSCAPE ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 1000 W. COLIER BLVD. SUITE 100
 MIAMI, FL 33135
 PHONE: (305) 772-2222

ARCHITECTURE
 ARCHITECTURE
 1000 W. COLIER BLVD. SUITE 100
 MIAMI, FL 33135
 PHONE: (305) 772-2222

GENERAL CONTRACTOR
 GENERAL CONTRACTOR
 1000 W. COLIER BLVD. SUITE 100
 MIAMI, FL 33135
 PHONE: (305) 772-2222

Site Development Plans FOR Temporary Sales Facility **Treviso Bay** (f. k. a. Wentworth Estates)

SECTION 30 TOWNSHIP 50 S., RANGE 26 E.
COLLIER COUNTY, FLORIDA
 SOUTH FLORIDA WATER MANAGEMENT DISTRICT
GENERAL PERMIT MODIFICATION FOR PERMIT NO. 11-02324-P



LOCATION MAP
 OCTOBER, 2004

Collier County Folio Nos.
 00439640303

County Commissioners

- District 1 - Donna Fiola
- District 2 - Frank Halas
- District 3 - Tom Henning
- District 4 - Fred Coyle
- District 5 - Jim Coletta

JOHNSON ENGINEERING

2750 Starbuck Court
 Naples, Florida 34112
 Phone: (239) 438-0033
 Fax: (239) 438-9300

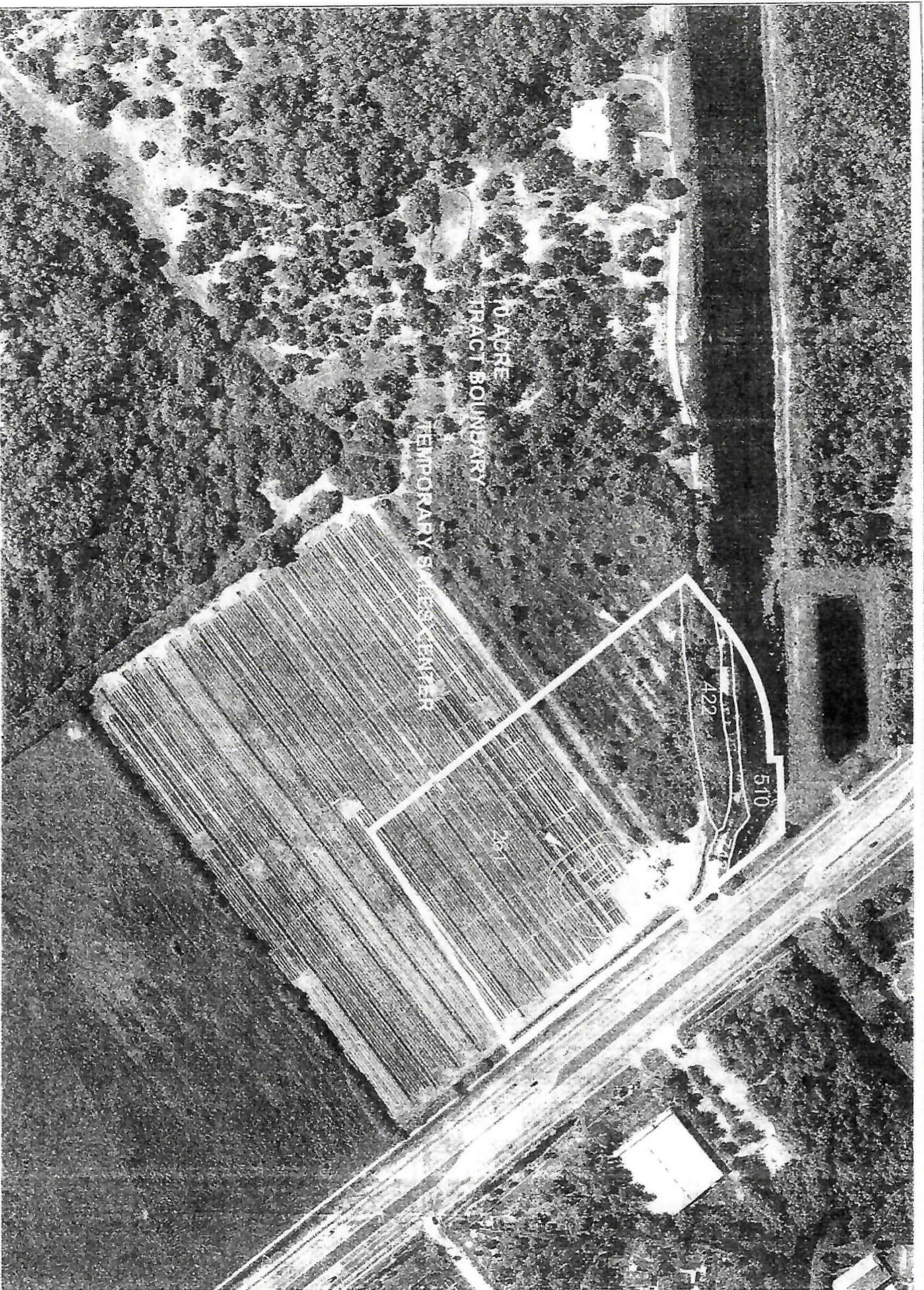
REGISTERED PROFESSIONAL ENGINEER
 FOLIO NO. 00439640303
 DATE: OCT 13 2004
 FORT MYERS



SHEET 1

ORIGINAL SUBMITTAL
 SEE SERVICE CENTER





TREVISO BAY

Temporary Sales Facility
Collier County, Florida

JOHNSON
ENGINEERING

2600 S.W. 10th Ave.
Miami, FL 33135
Phone: (305) 444-3333
Fax: (305) 454-9750
LE 2842 & LR 1842

Professional Engineer
No. 12000
Date of Registration
001/12/04
Collier County, Florida
Professional Seal

DATE	PROJECT NO.	SHEET NO.	TITLE	SCALE	SHEET
01/13/04	2003M-05	50	SA-28	1"=100'	1

AERIAL EXHIBIT AND
FLUCCUS MAP

PERMIT SET
NOT FOR CONSTRUCTION

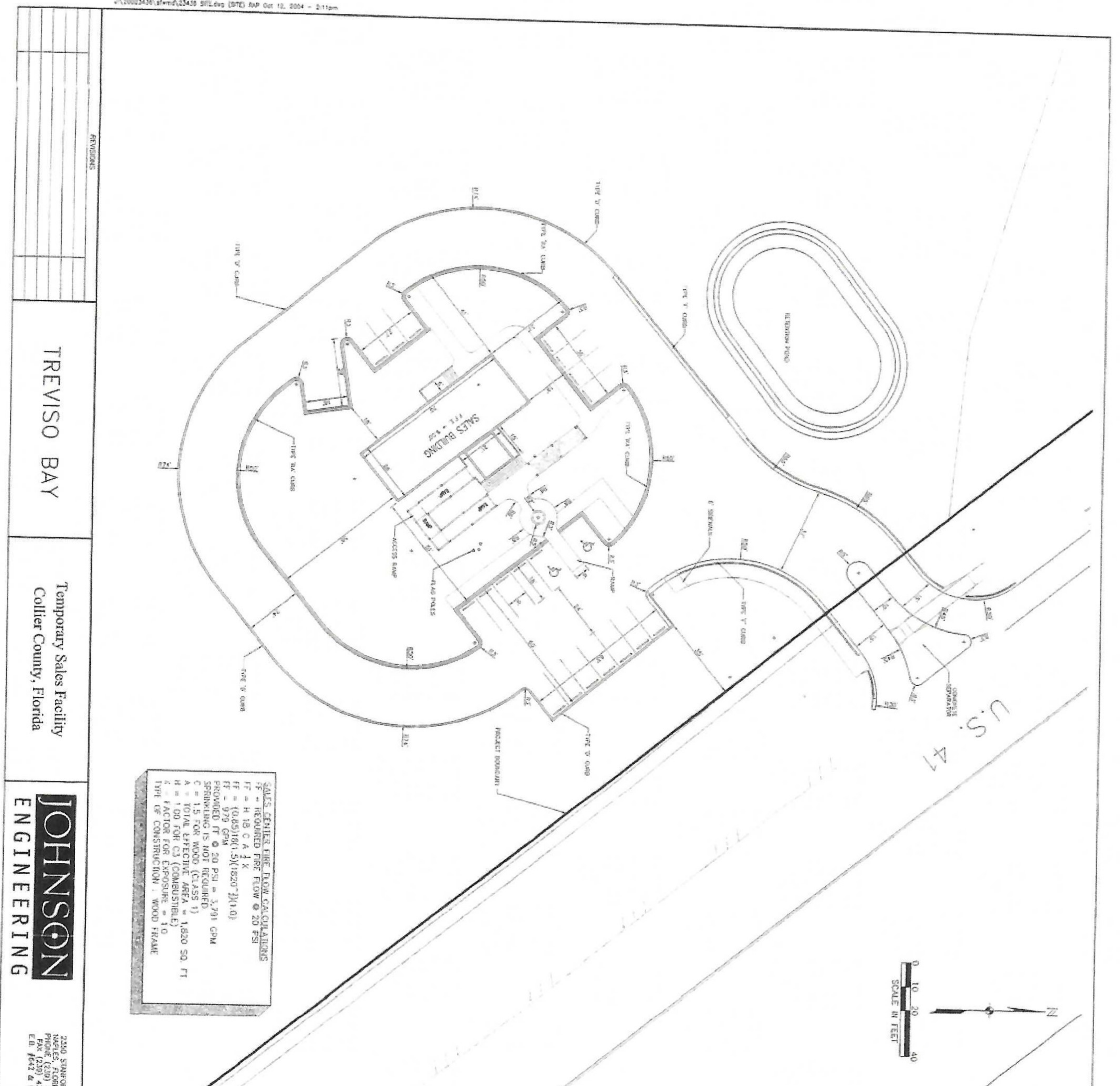
FLUCCUS CODES
261 FALLOW CROP AND
422 IRRIG. AND FALLOW
510 SITE AREA & WATERWAYS
743 SPILL AREAS

NOTE:
Aerial Photography from Collier
County Property Department
Office Official Agency 2002

FINAL APPROVED
NOV 12 2004
LAWRENCE CLARK

APPLICATION NUMBER
041018-13

ORIGINAL SUBMITTAL
OCT 13 2004
LWS SHIRLEY CLARK



SALES CENTER FIRE FLOW CALCULATIONS
 FF = REQUIRED FIRE FLOW @ 20 PSI
 FF = H 1.8 C A I X
 FF = (0.85)(161.5)(1.820)(1.0)
 FF = 979 GPM
 PROVIDED FF @ 20 PSI = 3,791 GPM
 SPRINKLING IS NOT REQUIRED
 C = 1.5 FOR WOOD (CLASS 1)
 A = TOTAL EFFECTIVE AREA = 1,820 SQ. FT.
 I = FACTOR FOR EXPOSURE = 1.0
 TYPE OF CONSTRUCTION: WOOD FRAME

TREVISO BAY

Temporary Sales Facility
 Collier County, Florida

JOHNSON ENGINEERING

2240 STARBUCK COURT
 NAPLES, FLORIDA 34112
 PHONE (239) 434-3333
 FAX (239) 434-0220
 E.D. #643 & L.B. #642

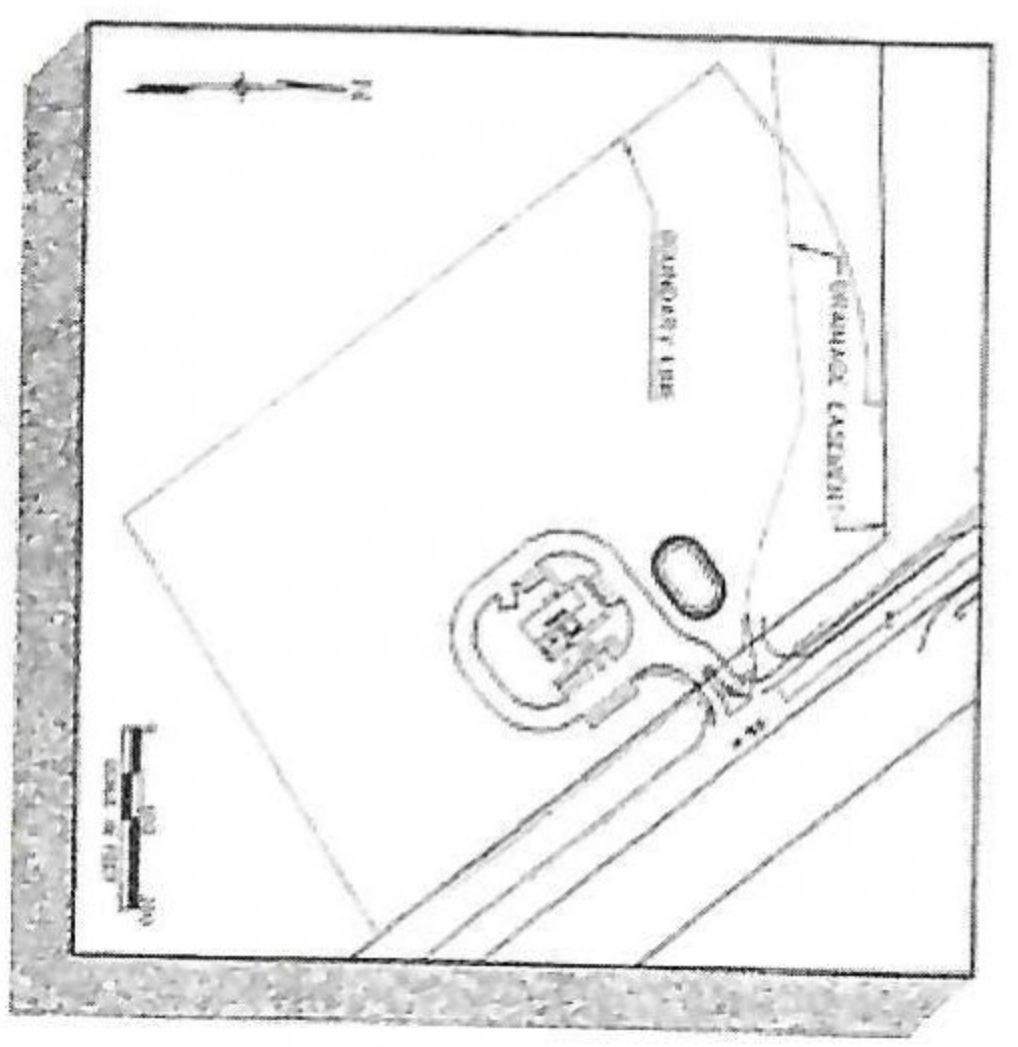
MASTER SITE PLAN

DATE	09/28/04	PROJECT NO.	20025156	FILE NO.	20-50-26	SCALE	1"=40'	SHEETING SERVICE CENTER	5
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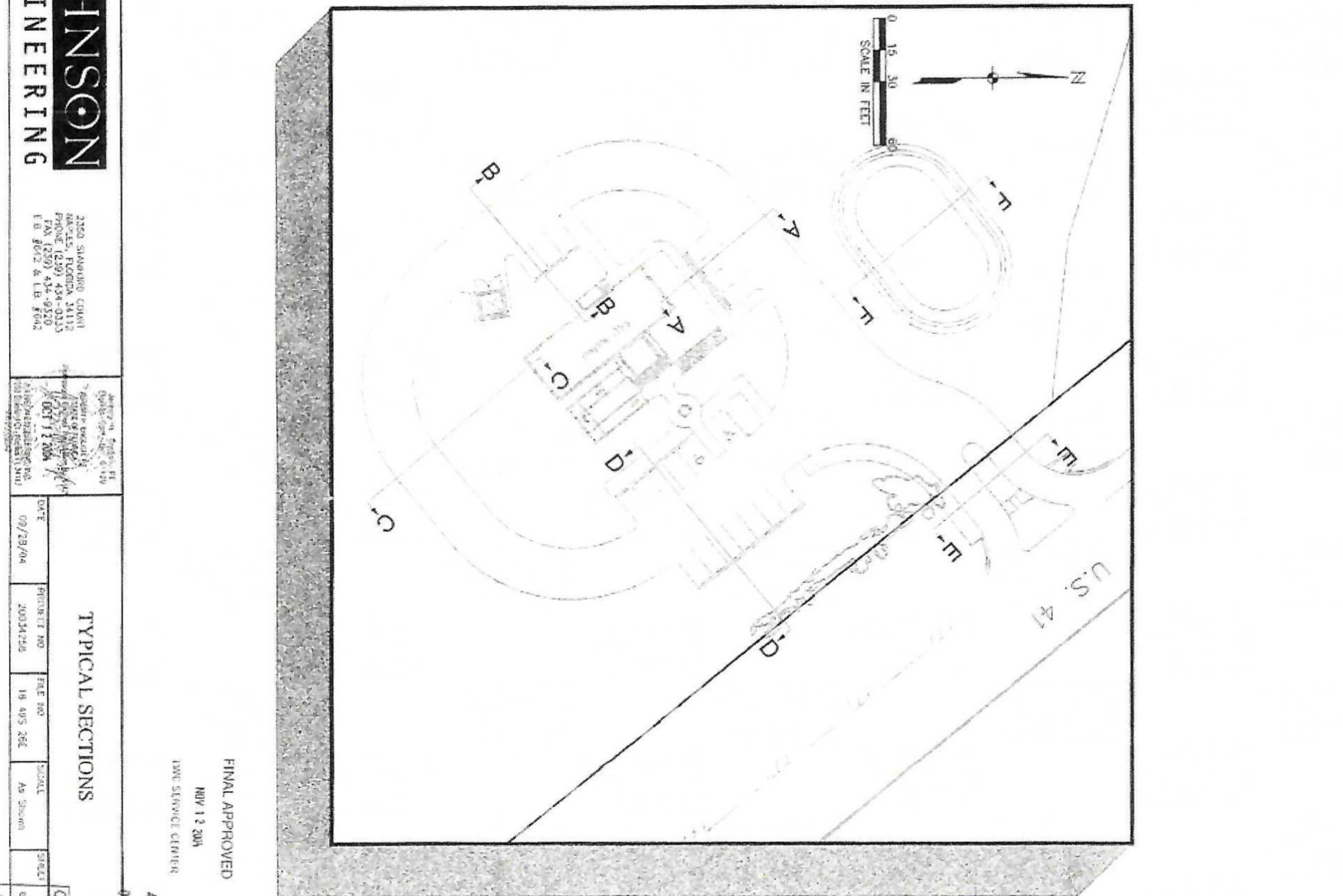
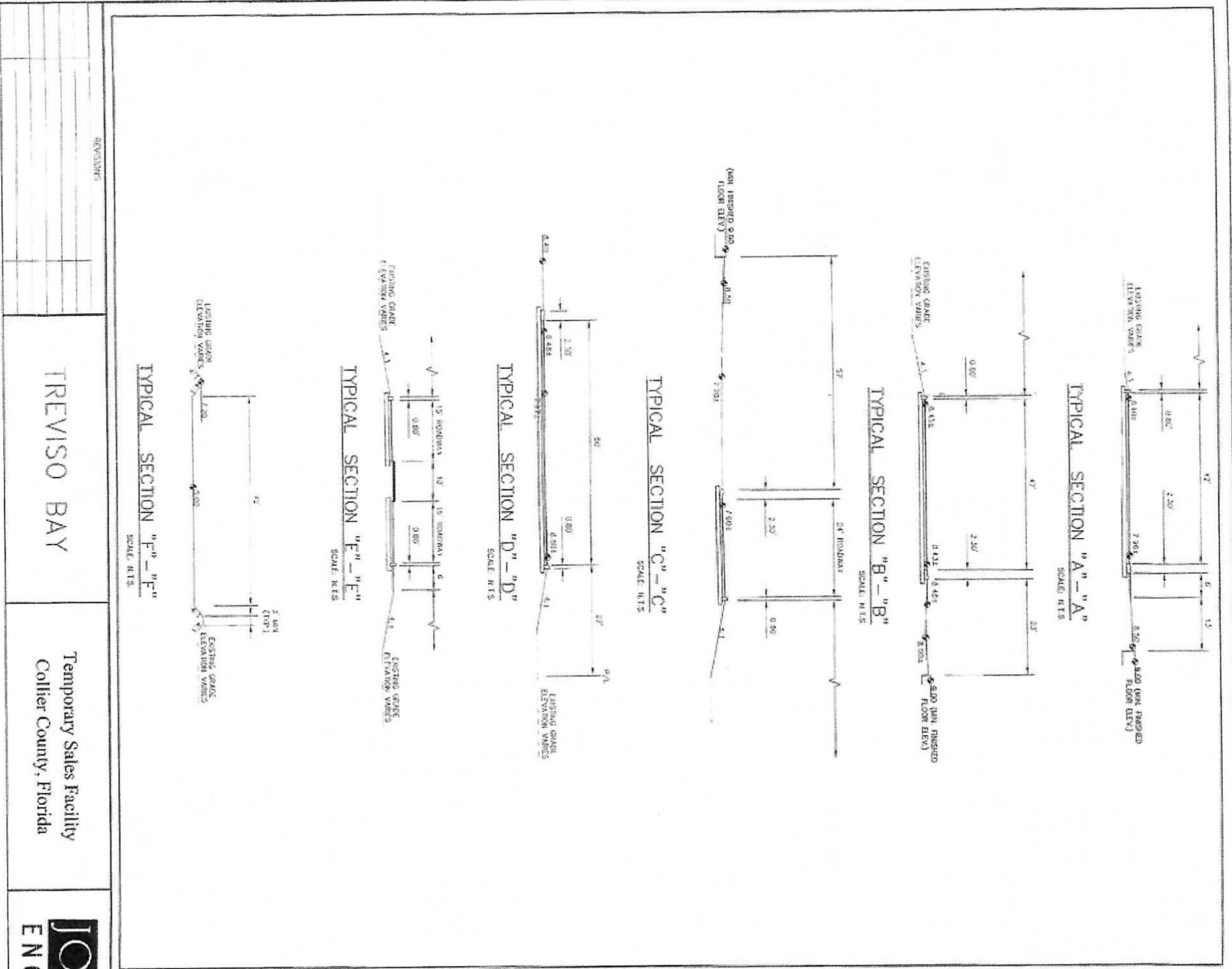
- GENERAL NOTES**
1. ALL DEVELOPMENT SHALL BE CONSISTENT WITH ORDINANCE 2003-51, WETHERSOUTH ESTATES, PUD.
 2. THE REVIEW AND APPROVAL OF IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED PARKING SPACES.
 3. ALL ELEVATIONS REFER TO 1929 M.G.V.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ANY OTHER CONTRACTORS WHO MAY BE PERFORMING WORK AT THE PROJECT SITE.
 5. FINISHING FACILITIES SHALL BE STORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
 6. THE CONTRACTOR SHALL KEEP AND MAINTAIN ON SITE AN ACCURATE UP-TO-DATE SET OF AS-BUILT DRAWINGS. THESE DRAWINGS SHALL INCLUDE LOCATIONS AND ELEVATIONS OF MANHOLES, RINGS, VALVES, SERVICES, CAVINGS AND OTHER APPURTENANCES AS WELL AS ANY DEVIATIONS IN THE PLANS. THESE AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE UPON COMPLETION OF THE WORK FOR HIS REVIEW AND USE.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CITY, COUNTY, STATE OR LOCAL CONSTRUCTION PERMITS OR APPROVALS, ETC., AND POSTING ALL REQUIRED BONDS ETC., PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS WITH UTILITY COMPANIES, CITY, COUNTY OR STATE AGENCIES AND THE OWNER'S REPRESENTATIVE.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH COUNTY REQUIREMENTS.
 9. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND ALL UTILITY COMPANIES IN THE AREA 72 HOURS (MINIMUM) BEFORE BEGINNING CONSTRUCTION.
 10. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE COLLIER COUNTY GROUNDWATER PROTECTION ORDINANCE.
 11. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE PERMITS ON-SITE AND SHALL BE RESPONSIBLE TO ADHERE TO ALL PLANNING CONDITIONS DURING CONSTRUCTION.
 12. A PRELIMINARY CONSTRUCTION MEETING SHALL TAKE PLACE WITH COLLIER COUNTY COMPLIANCE SERVICES AND STAFF PRIOR TO START OF CONSTRUCTION.
 13. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. BEFORE COMMENCING WORK, THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PREPARE ANY AND ALL UNDERGROUND UTILITIES.
 14. THE PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF ALL OR AN LANDSCAPE MATERIAL AND FOR MAINTENANCE OF THE REQUIRED IRRIGATION SYSTEM.
 15. OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS SHOWN ON THE DRAWINGS.
 16. ALL BUILDING LOTS TO BE CLEANED AT ISSUANCE OF BUILDING PERMIT.
 17. THE PROTECTION WATER SUPPLY, INCLUDING THE HYDRANT, SHALL BE INSTALLED AND APPLICATION SERVICES PRIOR TO PLACING CONCRETE BUILDING MATERIALS ON SITE.
 18. PAVED AREAS TO BE APPROVED SEPARATELY.

PARKING REQUIREMENTS
 REQUIRED PARKING RATIO: 1 PER 300 SQ. FT.
 REQUIRED NUMBER OF SPACES: (1 OFFICE) / (1820 SQ. FT. PER OFFICE) / 300 SQ. FT. = 6 SPACES
 NUMBER OF SPACES PROVIDED: 11 SPACES + 2 HANDICAP SPACES = 13 TOTAL SPACES PROVIDED

EXISTING LANDSCAPE	NO. TREES	REQUIREMENT	REMOVED
SHRUBS	20	10%	2
TREES	10	10%	1
TOTAL	30	10%	3



APR 12 2004
 FINAL APPROVED 041013-13
 APPLICATION NUMBER



FINAL APPROVED
 NOV 12 2004
 LMC SERVICE CENTER
 APPLICATION NUMBER
 0440-3-13
TYPICAL SECTIONS
 DATE: 09/28/04 PROJECT NO: 20034226 FILE NO: 19-495-26E SCALE: As Shown SHEET: 6 OF 13 TOTAL ORIGINAL SUBMITTAL DATE: 07/13/04 LMC SERVICE CENTER

REVISIONS
 TREVISO BAY
 Temporary Sales Facility
 Collier County, Florida

JOHNSON
ENGINEERING

2350 SHARON COURT
 NAPLES, FLORIDA 34112
 PHONE (239) 434-0333
 FAX (239) 434-9220
 E-MAIL: JEC@JOHNSON-ENG.COM

APPROVED BY: [Signature]
 DATE: OCT 12 2004
 PROJECT NO: 20034226

REVISIONS

TREVISO BAY

Temporary Sales Facility
Collier County, Florida

JOHNSON
ENGINEERING

2350 STARBUCK COURT
NAHELS, FLORIDA 34112
PHONE (239) 434-0033
FAX (239) 434-9200
CD #643 & L.D. #642

Approved: [Signature]
Date: 09/28/04

PROJECT NO. 20023436
SHEET NO. 01 OF 02
SCALE 1"=20'

DRINKING WATER
DATE: 10/13/04



MIN. ROAD CURBED ELEV.	MIN. PARKING ELEV.	MIN. BERM ELEV.	5% GR. ELEV.	10% GR. ELEV.	FF. ELEV.
4.0	7.0	7.2	7.0	8.8	9.0

GENERAL NOTES

1. THE PROPOSED STABILIZED SLOPES SHALL HAVE LBR OF 40 AND SHALL BE COMPACTED TO 98% MIN DENSITY AS DETERMINED BY ASTM D 1557.
2. THE PROPOSED LINE ROCK BASE SHALL HAVE 4 BR OF 100 AND 5% ALL BE PLACED IN TWO (2) LIFTS, WITH EACH LIFT COMPACTED TO 98% MIN DENSITY AS DETERMINED BY ASTM D 1557.
3. LINE ROCK BASE SHALL BE FRIED WITH TYPE RC-70 BURNING MATERIAL OF SS-1 (ASTM F 1885) AND SHALL COMPLY WITH SECTION 270-2 OF THE STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION (CURRENT EDITION).
4. ONE (1) FIELD DENSITY TEST SHALL BE REQUIRED EVERY 300 LF OR PART THEREOF ON THE FINISHED SUBGRADE MATERIAL AND ON EACH LIFT OF LINE ROCK BASE MATERIAL.
5. TWO (2) COPIES OF THE LBR PROCTOR AND COMP ACTION TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR SIGNATURE TO C.P.R.S.
6. FLOW ACROSS DRIVEWAYS SHALL HAVE A CONTINUOUS SLOPE FROM EDGE OF BUILDING DOWN TO MATCHING ROAD OR CURB GRADE. FLOW ACROSS GRASSY AREAS SHALL BE IN SLOPE WITH BEST POSSIBLE CHANNELING OF FLOW INTO NEAREST CATCH BASIN OR LAKE.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT WATER DISCHARGED FROM THE SITE DURING CONSTRUCTION SHALL MEET OR EXCEED STATE WATER QUALITY STANDARDS. SPECIFICALLY, THE DISCHARGE OF DISCHARGED WATER SHALL NOT EXCEED 28 FT ABOVE THE BACKGROUND LEVEL. WATER QUALITY AND SILTATION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL EROSION CONTROL HEADWORKS ARE INSTALLED, ESTABLISHED AND ACCEPTED.
8. WHERE INDICATED, OR AS NECESSARY, SILT FENCES AND OR PILE BARS SHALL BE PLACED ALONG THE PROJECT PERIMETER TO PREVENT SEDIMENT FROM LEAVING AND TRIBED WATER FROM LEAVING THE SITE.
9. OWNER SHALL BE RESPONSIBLE FOR COMPLETION AND MAINTENANCE OF ALL ON SITE ROADWAY & DRAINAGE FACILITIES.

GENERAL NOTES

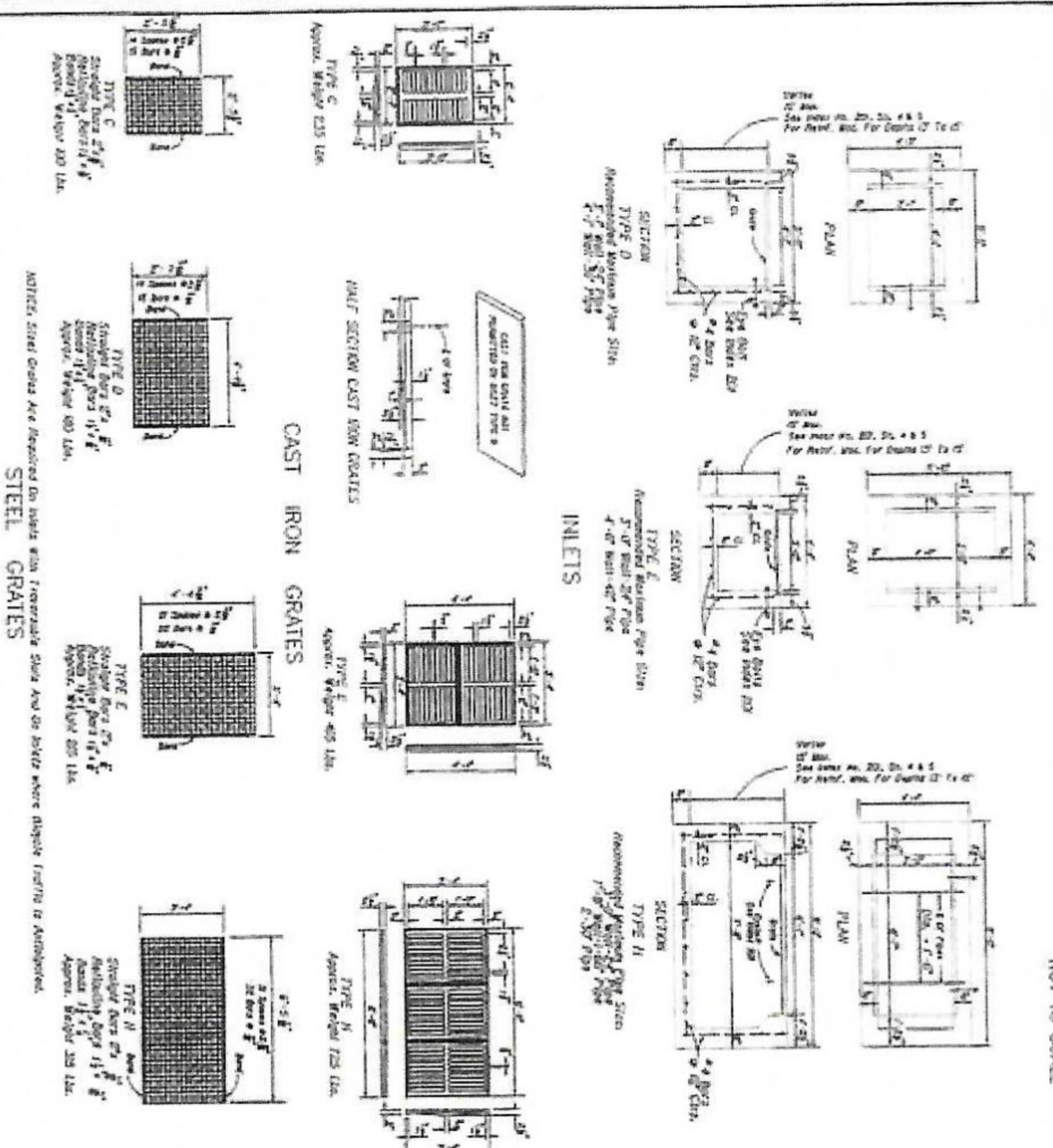
1. OWNER SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE WATER MANAGEMENT SYSTEM.
2. ALL BUILDING LOTS TO BE CLEARED AT ISSUANCE OF BUILDING PERMIT.

FINAL APPROVED
MAY 12 2004
L.W. STANLEY, CIVIL ENGINEER

STRUCTURE	TOP	NORTH	SOUTH	EAST	WEST	SUMP	TYPE	INDEX #
S-1	8.0			5.0	4.9		THROUGH INLET	
S-2	7.5			5.1			TYPE C	INDEX NO. 232
S-3	7.5	4.7		4.5			TYPE C	INDEX NO. 232
S-4	7.5	4.4		5.1			TYPE C	INDEX NO. 232
S-5	7.5			4.6			THROUGH INLET	
S-6	7.5			4.7			THROUGH INLET	
S-7	7.5			4.1			FLARED END SECTION	INDEX NO. 232
S-8	7.0			5.5			WATER COAT STRUCTURE	INDEX NO. 232
S-9							FLARED END SECTION	INDEX NO. 232
S-10							FLARED END SECTION	INDEX NO. 232

DITCH BOTTOM INLET DETAILS AND NOTES

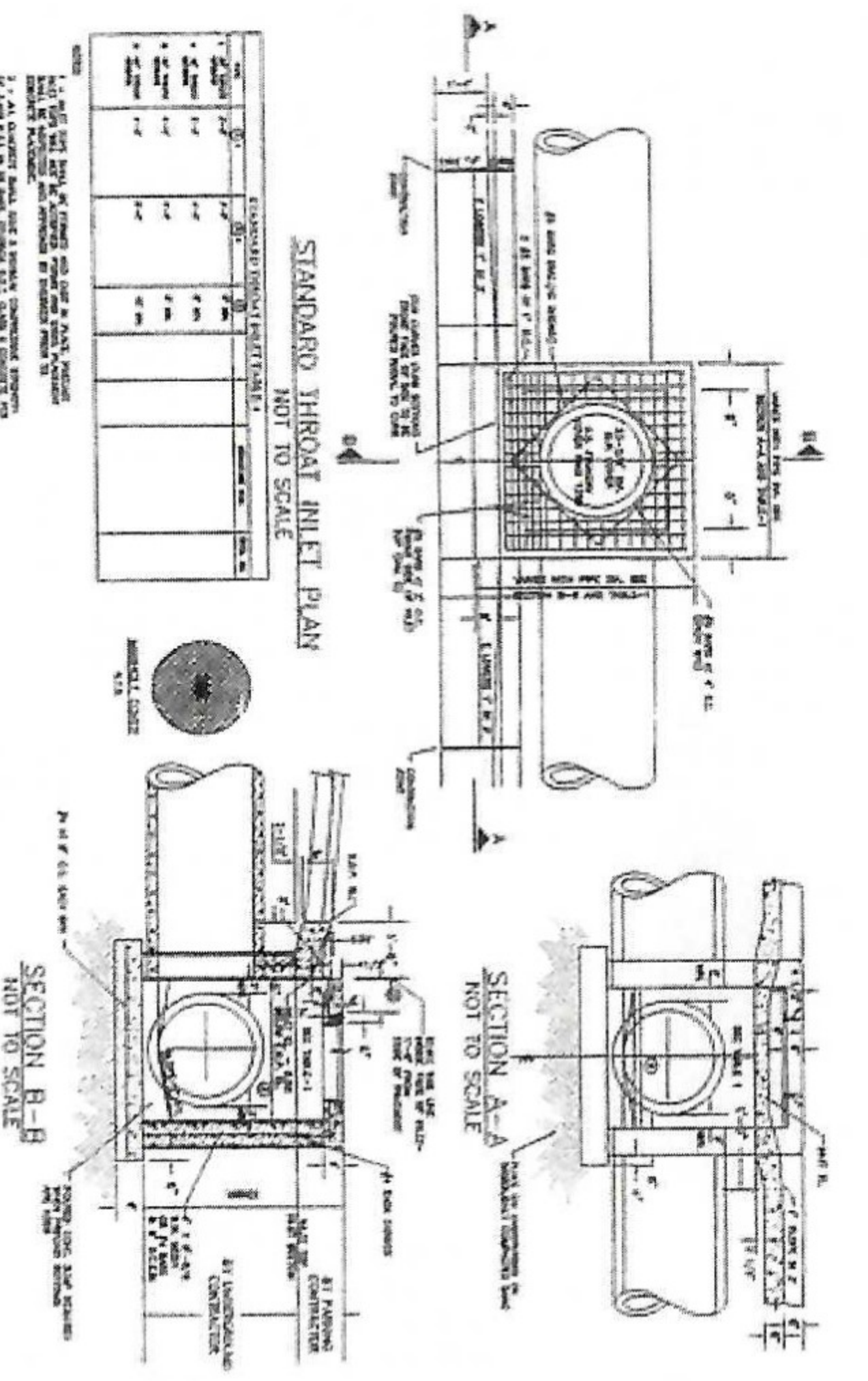
NOT TO SCALE



DITCH BOTTOM INLET DETAILS AND NOTES
NOT TO SCALE

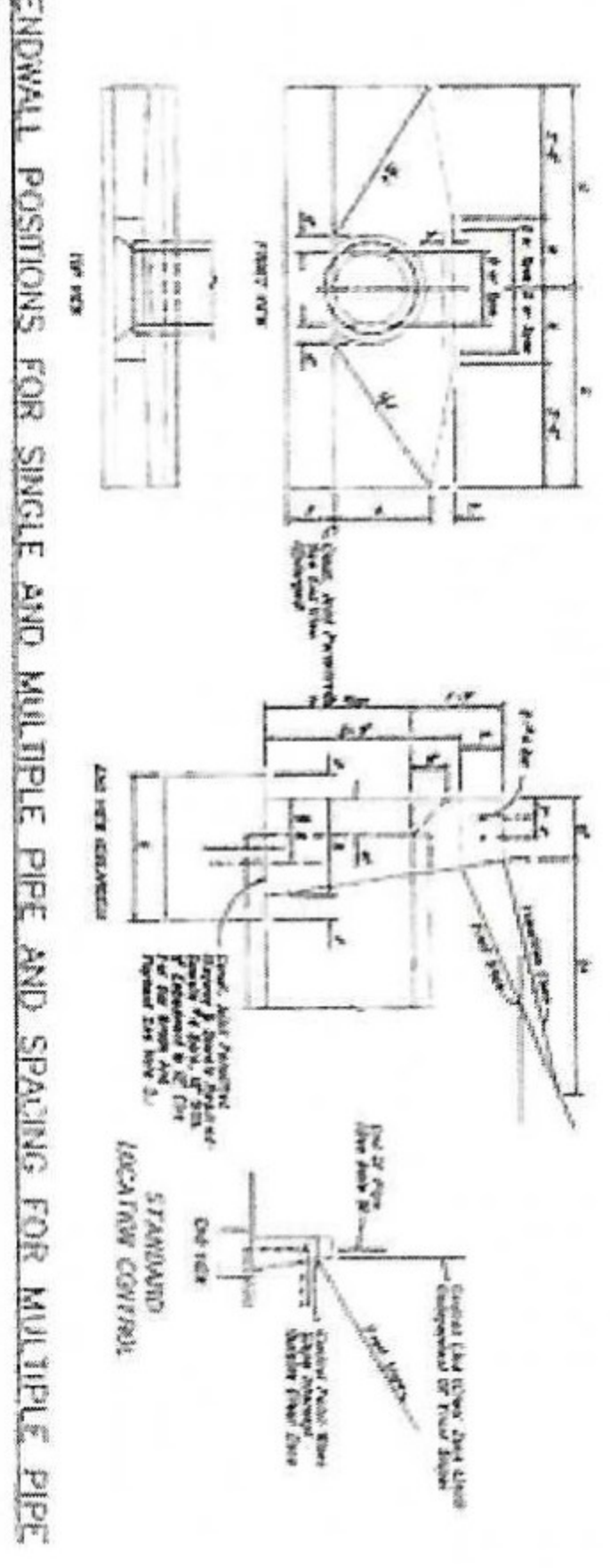
STANDARD THROAT INLET W/ MANHOLE

NOTE: INLET DETAIL PROVIDED BY WILSON-MULLER-GARTON-SOLL & PEEN, INC. MODIFIED BY JOHNSON ENGINEERING INC. TO ACCEPT TYPE 1" CURB AND CUTTER



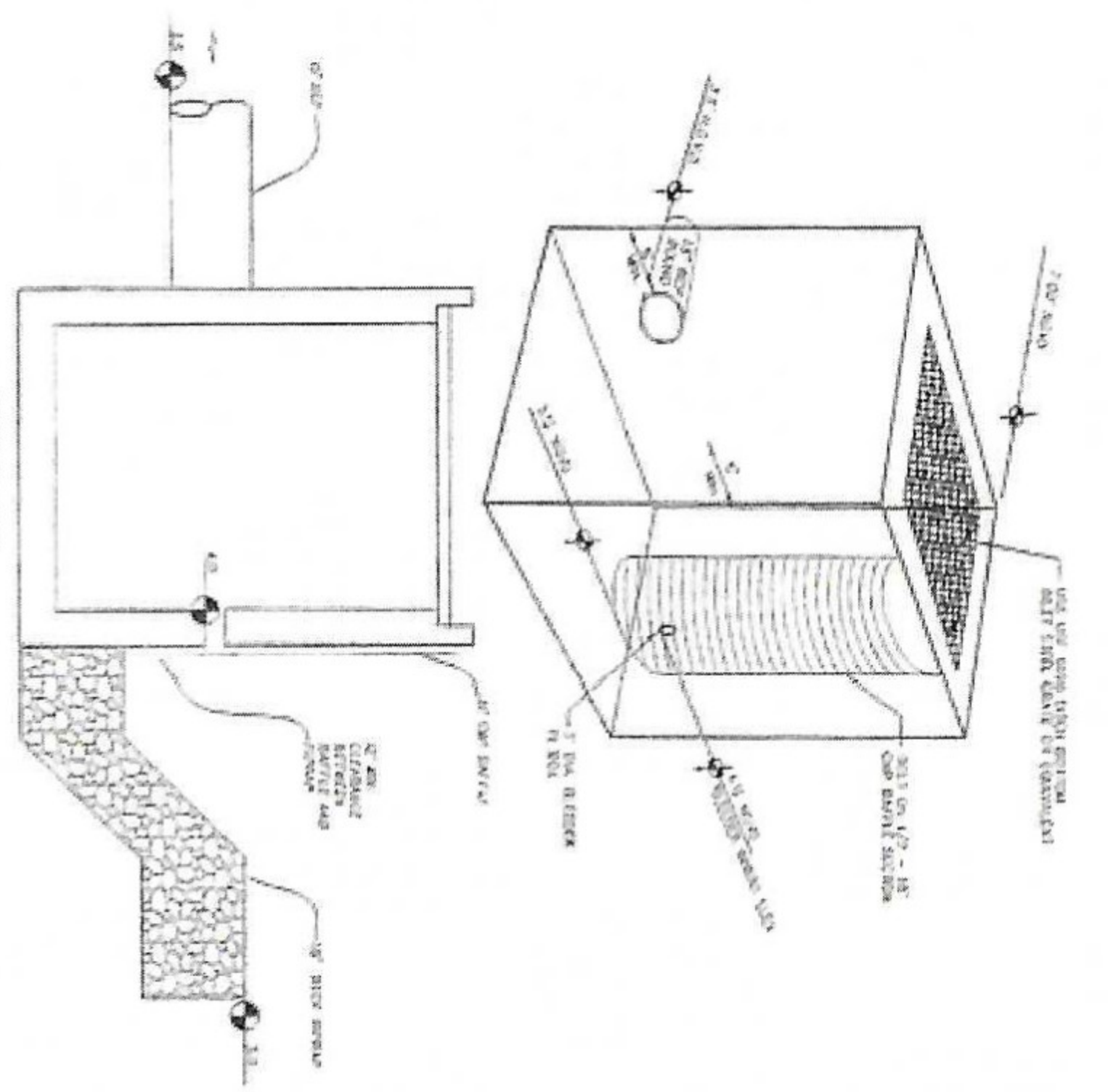
GENERAL NOTES

1. These details are for use with 18" and 24" diameter pipes. Details are to be used in 12" and 18" manholes.
2. Where shown, the inlet shall be installed in a concrete curb and gutter. The curb and gutter shall be constructed of either precast concrete or cast in place concrete.
3. Steel grates are to be used for 18" and 24" diameter pipes. Cast iron grates are to be used for 12" and 15" diameter pipes. The grate shall be of the type specified in the schedule. The grate shall be installed in the manhole in the manner shown on the detail.
4. Recommended minimum pipe sizes shown are for concrete pipe. Pipe sizes larger than those recommended must be checked for fit.
5. All exposed corners and edges of concrete are to be chamfered 1/4".
6. Personnel should wear safety glasses and hard hats when working with pipe. Personnel should also wear safety glasses and hard hats when working with concrete.
7. Top surface of pipe protruding in manhole shall not be used for support of any other structure.
8. Spacing for wall and floor shall be as shown on the detail.
9. For supplementary details see notes No. 206.



WATER CONTROL STRUCTURE (S-9)

NOT TO SCALE



GENERAL NOTES

1. Standard dimensions and quantities are for concrete pipe and concrete structure. Steel shall be in accordance with AISC 360.
2. Reinforcement and other materials shall be in accordance with AISC 360.
3. Personnel should wear safety glasses and hard hats when working with pipe. Personnel should also wear safety glasses and hard hats when working with concrete.
4. Top surface of pipe protruding in manhole shall not be used for support of any other structure.
5. Spacing for wall and floor shall be as shown on the detail.
6. For supplementary details see notes No. 206.
7. For casting concrete quantities for elements shown in the plan shall be made on the following basis:
Element Size To Pipe
4" to 12" 50%
12" to 18" 50%
18" to 24" 50%
8. Pipe shall be installed in the manhole in the manner shown on the detail.
9. Personnel should wear safety glasses and hard hats when working with pipe. Personnel should also wear safety glasses and hard hats when working with concrete.
10. Top surface of pipe protruding in manhole shall not be used for support of any other structure.
11. Spacing for wall and floor shall be as shown on the detail.
12. For supplementary details see notes No. 206.

DATA AND ESTIMATED QUANTITIES FOR ONE ENDWALL

ITEM NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	CONCRETE	1	CU YD	
2	STEEL	1	LB	
3	PIPE	1	LN	
4	GRATE	1	EA	
5	WALL	1	CU YD	
6	CEILING	1	CU YD	
7	FLOOR	1	CU YD	
8	DOOR	1	EA	

END WALL DETAILS AND NOTES

ENDWALL DIMENSIONS (EXCLUSIVE OF MULTIPLE PIPE SPACING)

APPLICABLE NUMBER 0410

TREVISO BAY

Temporary Sales Facility
Collier County, Florida

JOHNSON
ENGINEERING

2350 STANFORD COURT
NAPLES, FLORIDA 34112
PHONE (239) 434-0033
FAX (239) 434-9200
E.B. #602 & E.D. #602

WATER MANAGEMENT DETAILS

DATE	PROJECT NO.	PLT NO.	SCALE
09/28/01	20021416	30-50-26	As Shown

ORIGINAL SUBMITTAL
SET 1 OF 2
DESIGN CENTER



TREVISO BAY

Temporary Sales Facility
Collier County, Florida

JOHNSON ENGINEERING

2320 STARBUCK ROAD
NORFOLK, FLORIDA 32113
PHONE (772) 234-0333
FAX (772) 434-8222
E.B. #102 & L.B. #249

APPROVED
DATE: 10/27/2004
PROJECT NO: 200113436
SHEET: 2

AERIAL EXHIBIT AND FLUCRCS MAP

DATE: 10/27/2004
PROJECT NO: 200113436
SHEET: 2

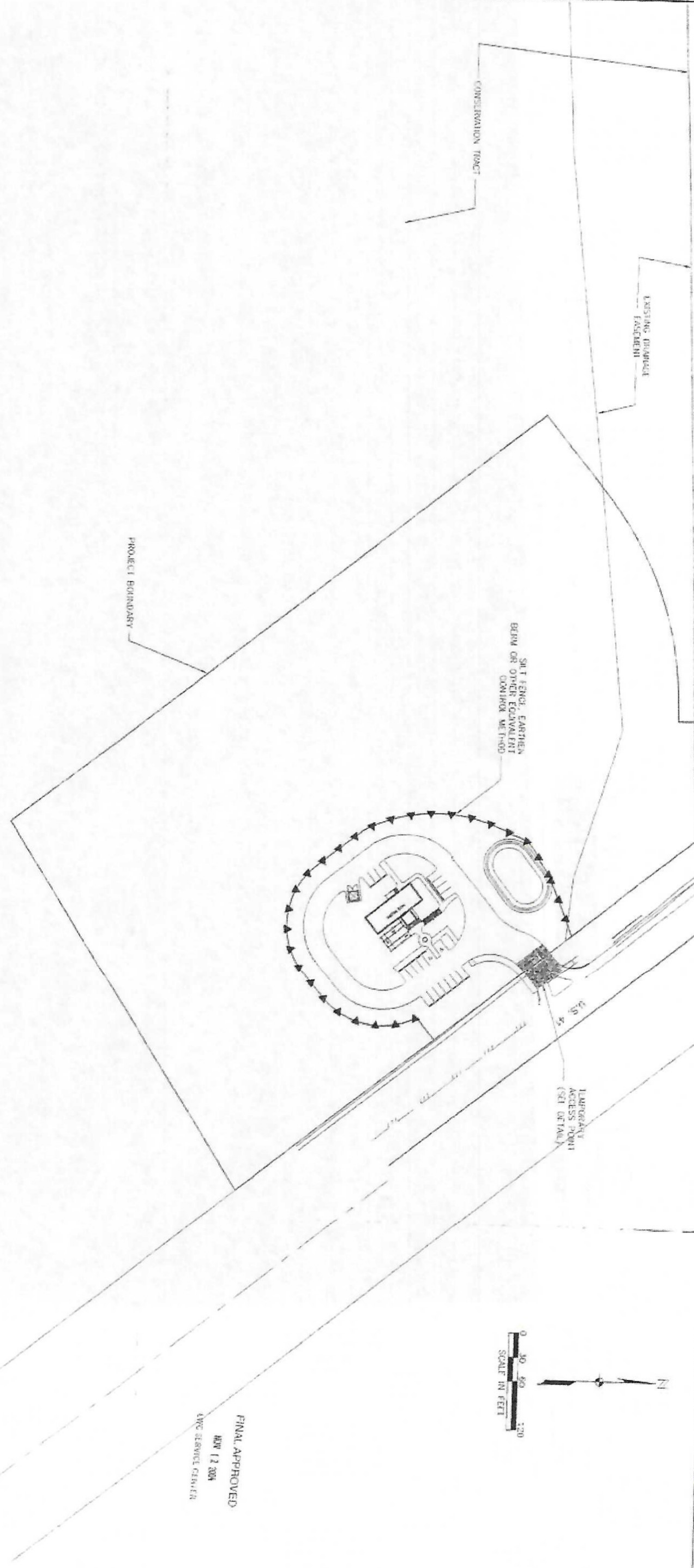
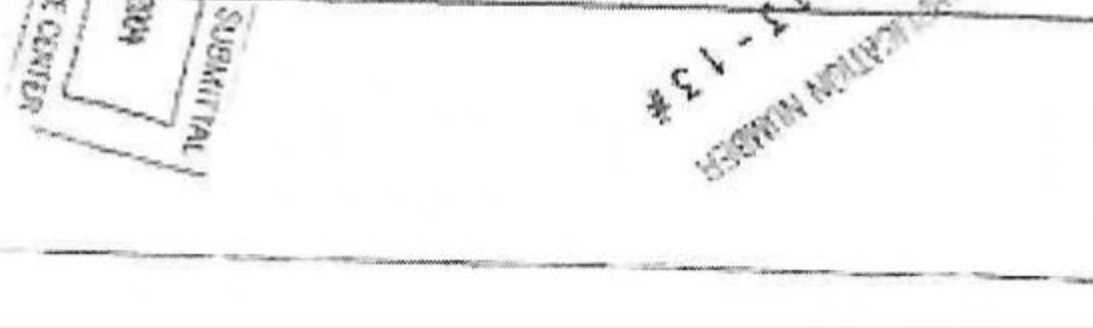
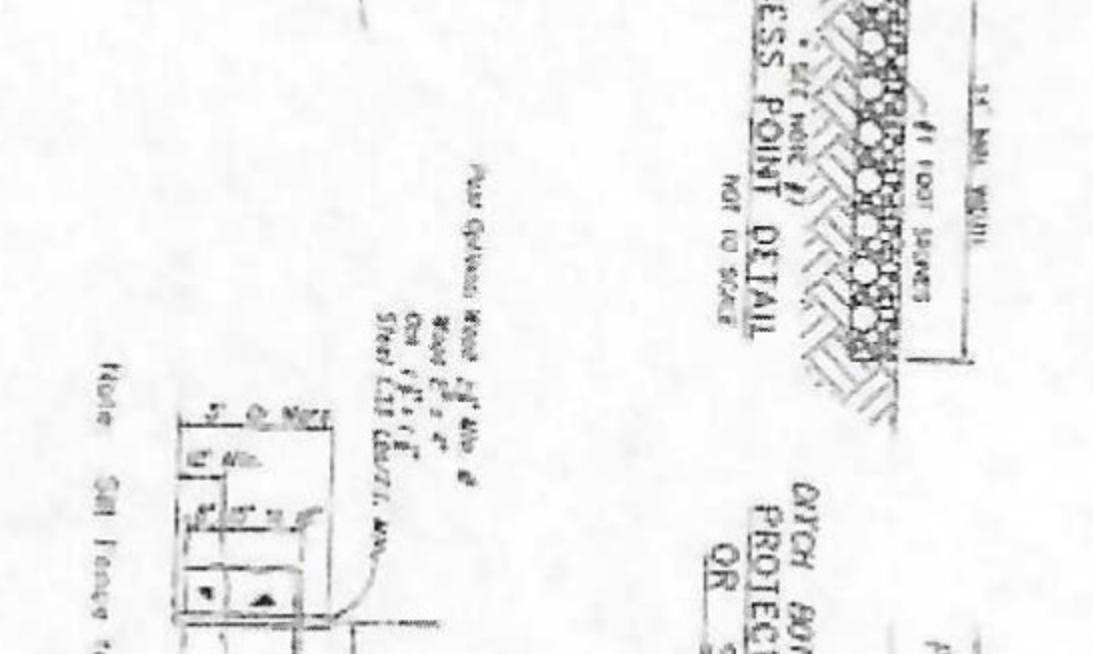
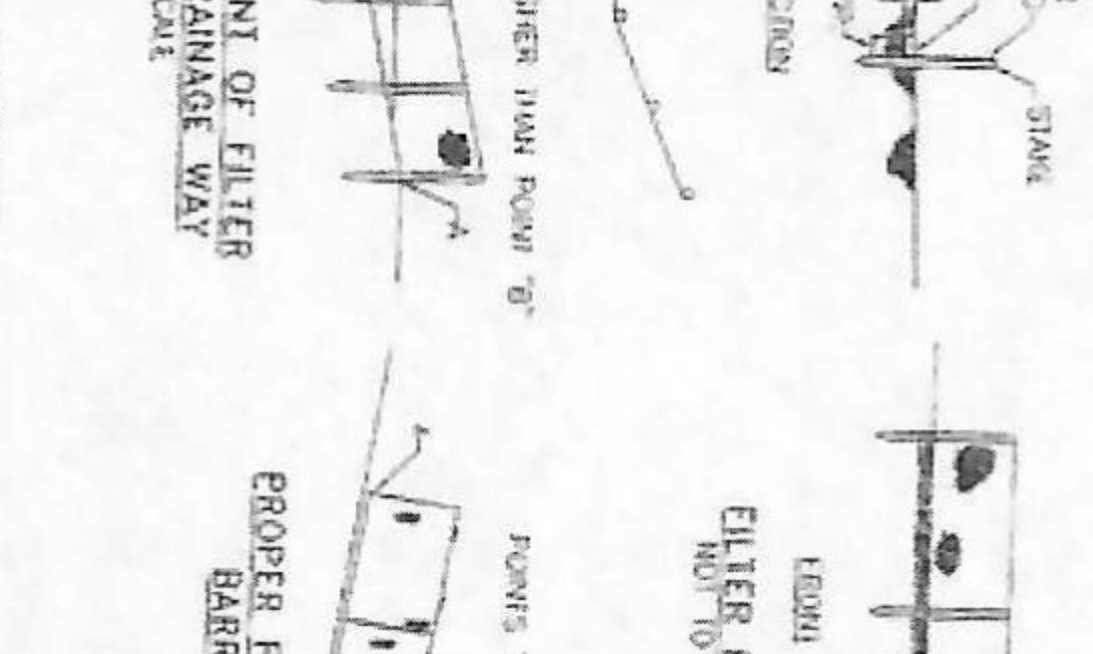
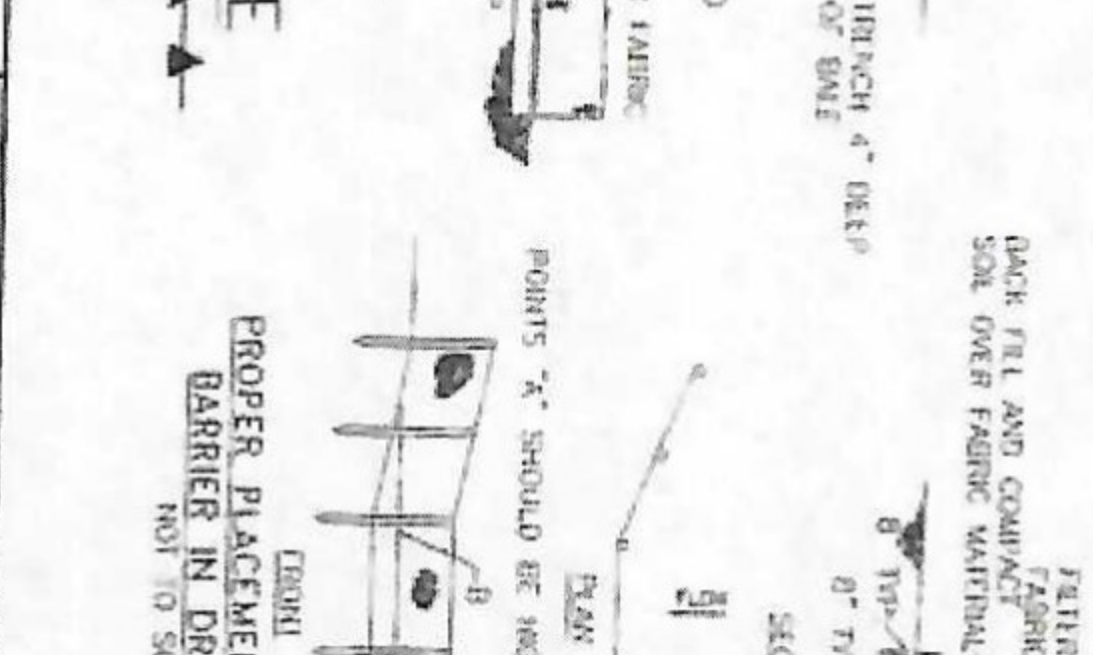
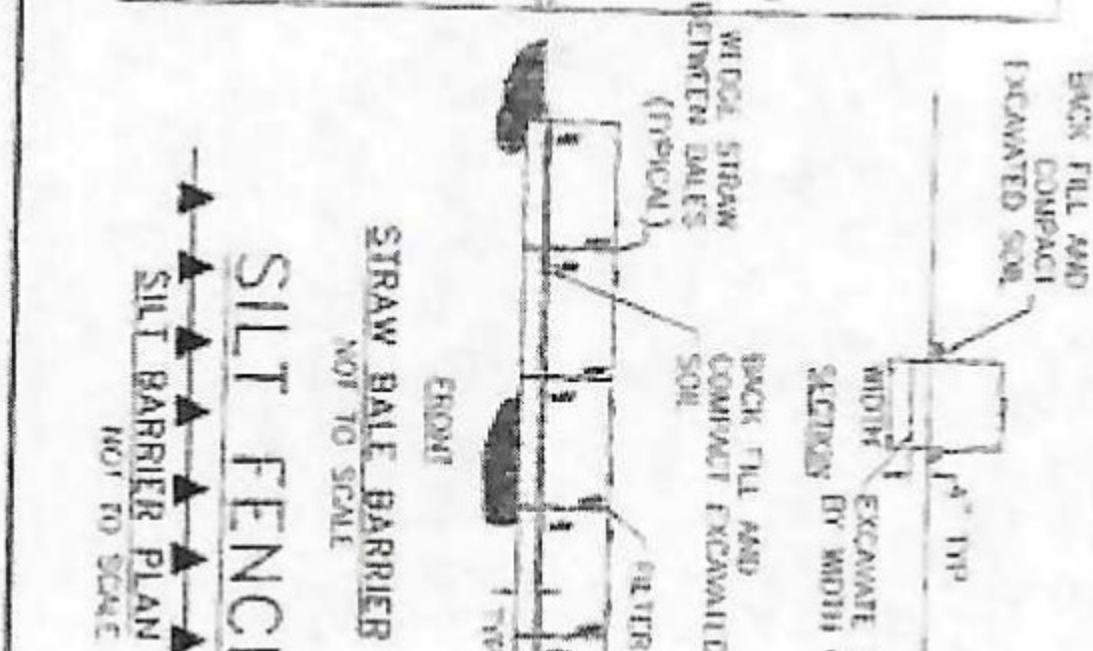
**PERMIT SET
NOT FOR CONSTRUCTION**

NOTE:
Aerial Photography from Collier
County Property Appraiser's
Office, Date: January, 2002

FLUCRCS CODES	ACRES
261 FALLOW CROPLAND	0.24
422 BRAZILIAN PEPPER	0.72
510 STREAMS & WATERWAYS	0.65
742 SPOIL AREAS	0.59

APPLICATION NUMBER
041013-13#
APPROVED SUBMITTAL
DATE: 01/26/2004

- COLLECTING AND EXPOSURE NOTES:**
1. EXISTING VEGETATION AS REMOVED BY THE COLLIER COUNTY LAND RECLAMATION CORP (LRC), SHALL BE REMOVED FROM THE SITE AND REPLANTED WITH A SPECIES SUITABLE TO THE SITE AND REGENERATE THE ECOSYSTEM (OR REGENERATE) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 2. THE PROPERTY OWNER IS RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE CONSTRUCTION OF RECORD AND RECORDS WHICH ARE TO BE MAINTAINED FOR THE LIFE OF THE PROJECT.
 3. THE PROPERTY OWNER IS RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE CONSTRUCTION OF RECORD AND RECORDS WHICH ARE TO BE MAINTAINED FOR THE LIFE OF THE PROJECT.
 4. THE PROPERTY OWNER IS RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE CONSTRUCTION OF RECORD AND RECORDS WHICH ARE TO BE MAINTAINED FOR THE LIFE OF THE PROJECT.
 5. ALL PROPOSED AREAS TO BE STABILIZED WITH SOG OR SEED AND MULCH.
 6. ALL PROPOSED AREAS TO BE STABILIZED WITH SOG OR SEED AND MULCH.
 7. ACCESS POINT SHALL BE A MINIMUM OF 10' FROM THE PROPERTY LINE AND SHALL BE PROTECTED WITH FILTER FABRIC BARRIERS.
 8. ALL PROPOSED AREAS TO BE STABILIZED WITH SOG OR SEED AND MULCH.
 9. ALL PROPOSED AREAS TO BE STABILIZED WITH SOG OR SEED AND MULCH.
 10. ALL PROPOSED AREAS TO BE STABILIZED WITH SOG OR SEED AND MULCH.
 11. VEGETATION TO BE PLANTED SHALL BE PROTECTED WITH APPROVED BARRIERS (SEE DETAIL SHEET) AND PROTECTIVE MULCH SHALL BE PLACED UPON COMPLETION OF CONSTRUCTION. (SECTION 3.9.1.13)



FINAL APPROVED
 NOV 12 2024
 LRC SERVICE CENTER

TREVISIO BAY

Temporary Sales Facility
 Collier County, Florida

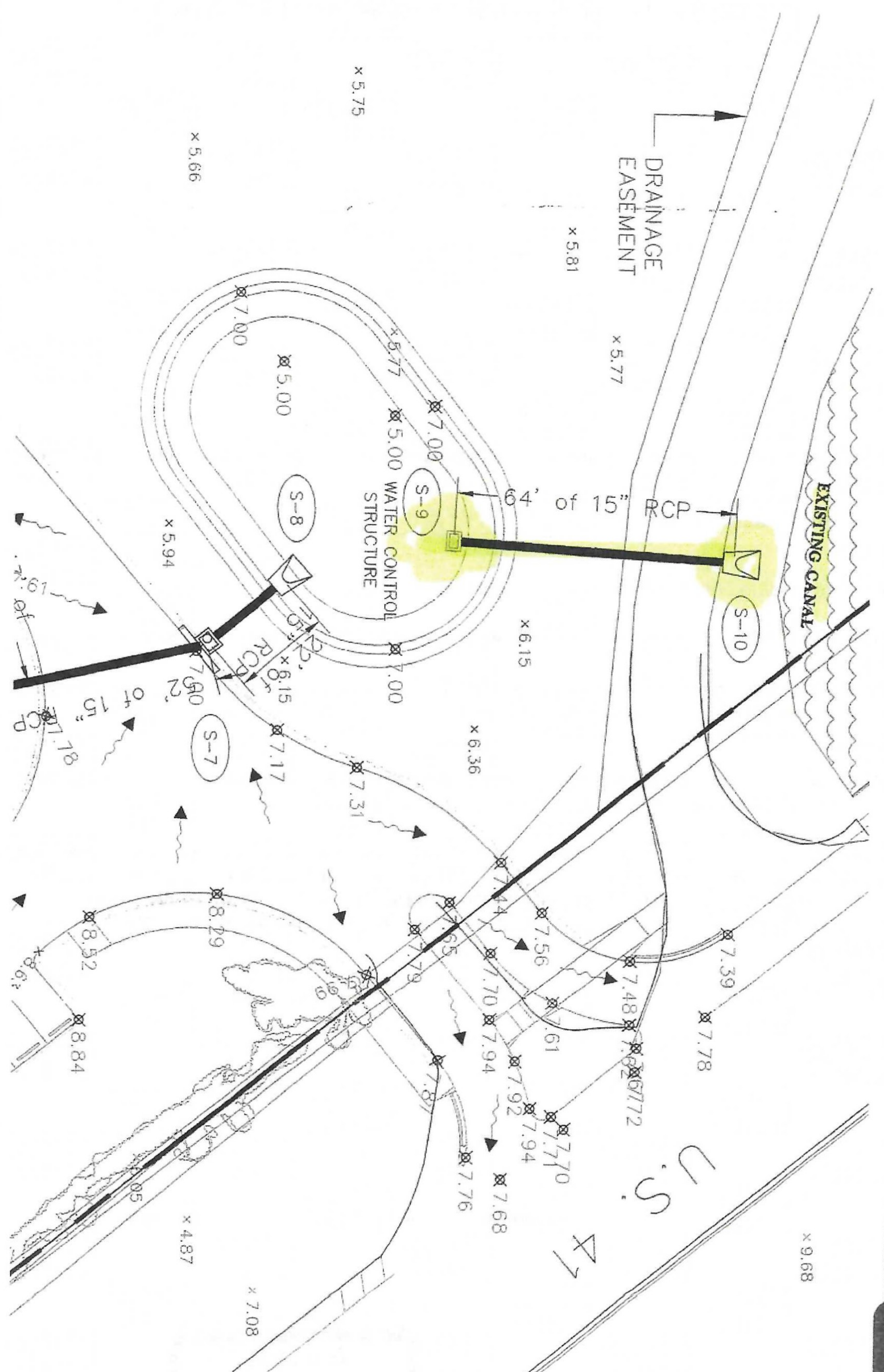
JOHNSON
 ENGINEERING

2350 STARBUCK COURT
 ADDRESS (239) 434-5411
 PHONE (239) 434-5411
 FAX (239) 434-0320
 E.O. 14176 & L.B. 8542

EROSION CONTROL PLAN

DATE	PROJECT NO.	TITLE NO.	SCALE	SHEET
10/22/24	20023455	20-50-2B	1"-40'	3

APPROVED
 OCT 16 2024
 LRC SERVICE CENTER



EXHIBIT

G-2

tabbies

South Florida Water Management District

ENVIRONMENTAL RESOURCE / SURFACE WATER MANAGEMENT PERMIT SURFACE WATER MANAGEMENT SYSTEM CONSTRUCTION COMPLETION CERTIFICATION

ENVIRONMENTAL RESOURCE COMPLIANCE DIVISION

Permit No. 11-02324-P Application No(s). 041013-13
Project Name Treviso Bay Temporary Sales Facility Phase _____

The subject surface water management system has been designed, constructed and completed as follows (check all that apply):

DISCHARGE STRUCTURE(S) Please provide the requested information for all permitted discharge structures. Attach additional sheets if needed.

Structure Identification Number: S-4
 Weir: width of structure 5.65 NGVD crest _____
 Bleeder: type Circular dimensions 3" invert 3.99 NGVD
 Additional discharge structure information attached.

RETENTION/DETENTION AREA(S): Please provide the requested information for all permitted retention/detention areas. Attach additional sheets if needed.

Retention/Detention Area Identification Number: N/A Size (acres) 54,454 ±3
Side Slope (h:v) 5:1
 Additional retention/detention area information attached.

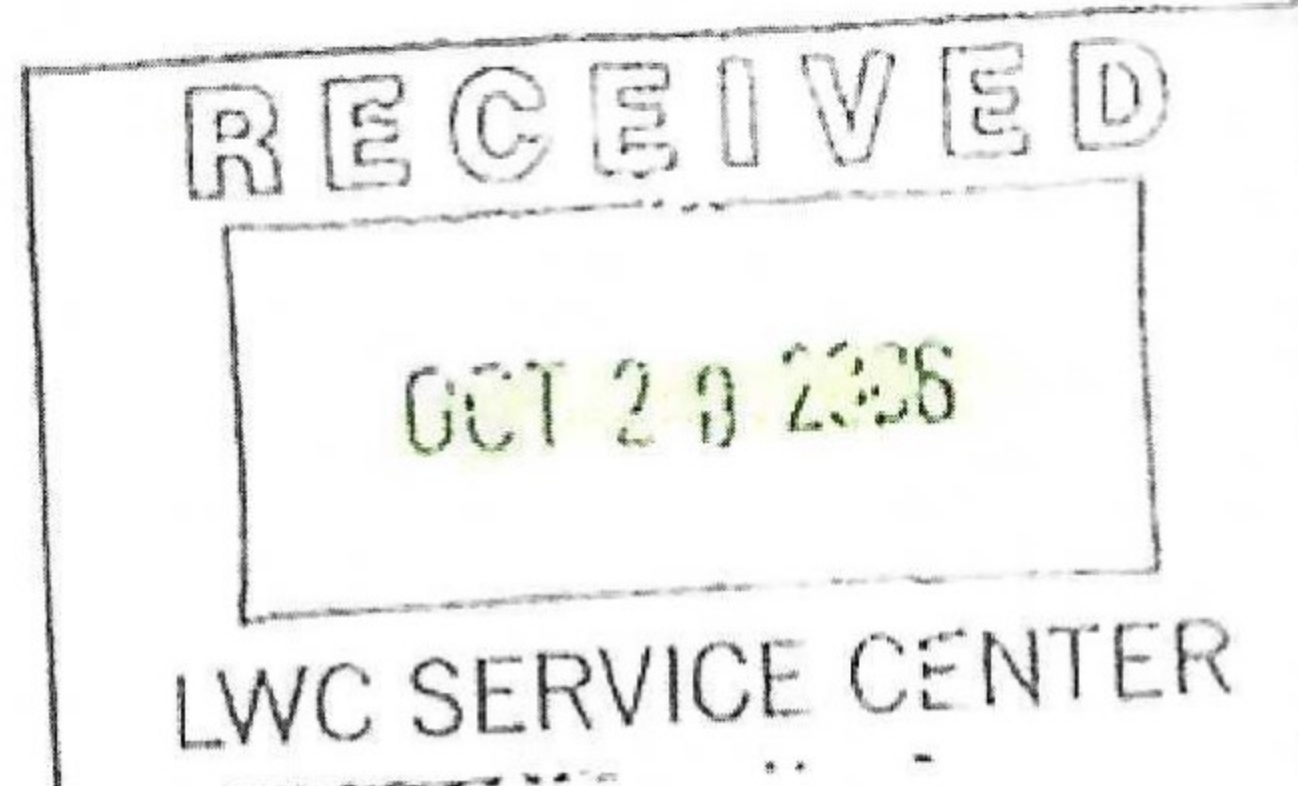
- EXFILTRATION TRENCH** - Confirmation of cross-section with pipe size and invert, trench width, height and length is provided on the attached.
- CONVEYANCE SYSTEM ONLY** - The components of the permitted surface water management consist of inlets, pipes or other form of conveyance system. Confirmation of ditches, canals, and/or swales with cross-sections, pipe diameters, inverts, and lengths is provided on the attached.

Please indicate the location of the benchmark(s) used to determine the above information on the record drawings (40E-4.381(1)(f), F.A.C. Code). All elevations should be according to National Geodetic Vertical Datum (NGVD).
AK Nail & Disk on S-4 Weir 5.67 NGVD

I HEREBY NOTIFY THE DISTRICT OF THE COMPLETION OF CONSTRUCTION OF ALL THE COMPONENTS OF THE SURFACE WATER MANAGEMENT FACILITIES FOR THE ABOVE REFERENCED PROJECT AND CERTIFY THAT THEY HAVE BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS PERMITTED BY THE DISTRICT. [A COPY OF THE APPROVED PERMIT DRAWINGS IS ATTACHED WITH DEVIATIONS NOTED, IF APPLICABLE.]

Engineer's Signature, Seal and Date:

Please Print or Type



Engineer's Name Chad Luttrell, P.E.
Company Name Graef, Anhalt, Schloemer & Assoc. P.A.
Address 5150 Tamiami Trail No Suite 603
Naples, FL 34103
Authorization No. of Engineering Business (if applicable) #4270
Telephone Number 239-430-2830
E-mail chad.luttrell@grasai.com

[Handwritten Signature]
10/19/06



ROUTE SHEET

ENVIRONMENTAL RESOURCE COMPLIANCE DIVISION CONSTRUCTION COMPLETION CERTIFICATION & PERMIT CONVERSION

DATE RECEIVED: October 20, 2006

DATE ROUTED: July 16, 2008

APPLICATION NO: 041013-13

PERMIT NO: 11-02324-P

PROJECT NAME: TREVISO BAY FKA WENTWORTH ESTATES TEMPORARY SALES FACILITY

COUNTY / STR: COLLIER S 30/T 50 S/R 26 E

CERTIFICATION FORM 0881 RECEIVED (Y/N): Y

CONVERSION FORM 0920 RECEIVED (Y/N): N

CERTIFICATION FORM SIGNED & SEALED (Y/N): Y

CERTIFICATION AS BUILT DRAWINGS (Y/N): N

SCHEDULED FINAL INSPECTION NO LATER THAN: November 19, 2006

CORRESPONDENCE TARGET DATE: December 19, 2006

COPY TO:

ERC ENGINEER: KYLE HALL
ERC L/I REVIEWER: KAREN ADAMS
ERC FIELD REP: STEVEN NELSON NAGLE

NOTES:

19275 W. Capitol Dr. Brookfield, Wisconsin 53045
262-790-0000 • 262-790-6011 f
www.treviobay.com
Treviobay Development, L.L.C.

Graef, Anhalt, Schloemer
& Associates, Inc.
1510 N. Tennessee Street, Suite 201
Naples, Florida 34102-2818
239-439-2300 • 239-439-2377
www.graef.com

ANHALT
SCHLOEMER
& ASSOCIATES, INC.
Professional Engineer
No. 12000
No. 12000

Temporary Sales Facility

TREVIOS BAY
Naples, Florida

Date: 02/20/06
Revision: A

Site Paving, Grading and Drainage Plan

C5.0

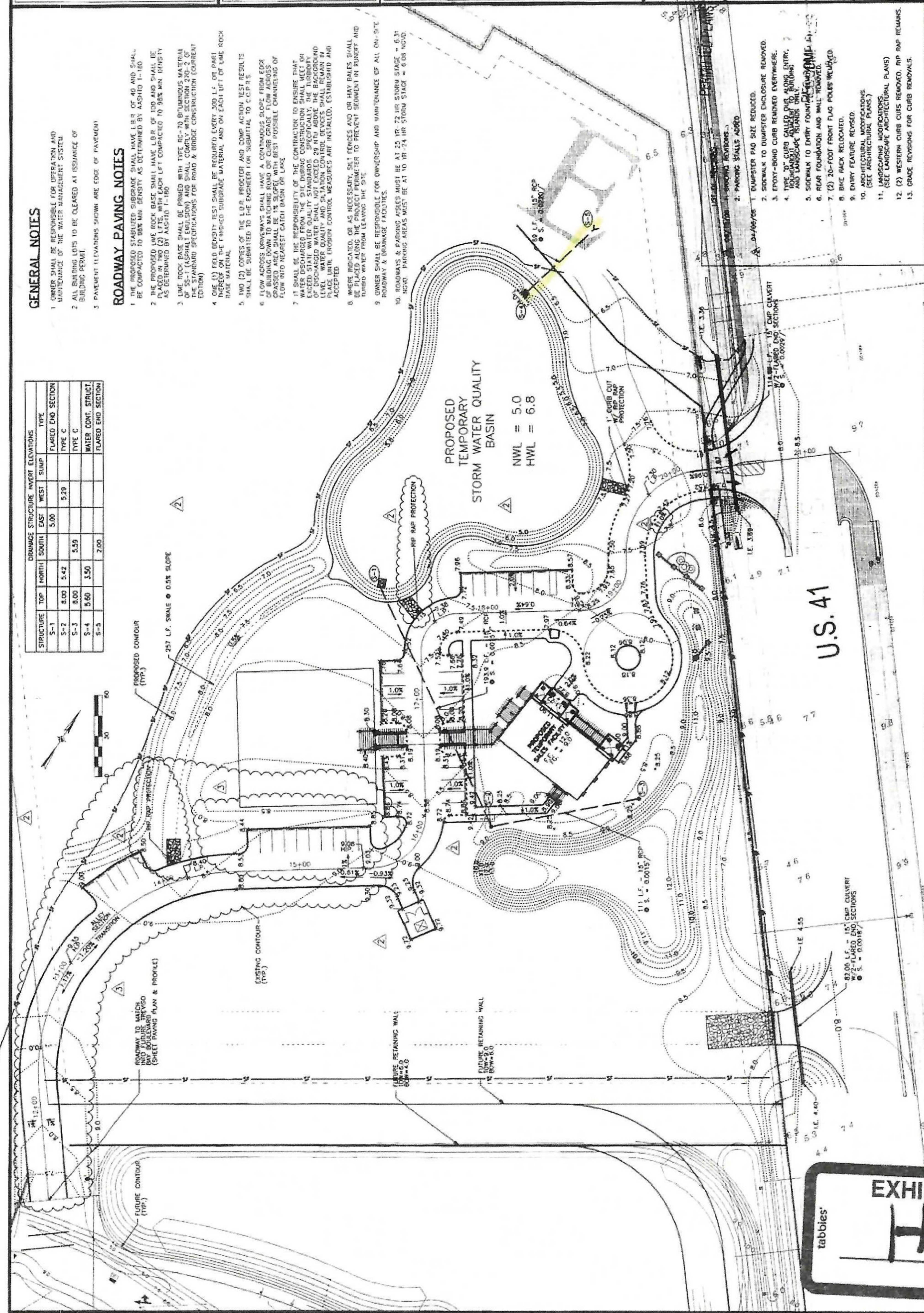
GENERAL NOTES

- OWNER SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE WATER MANAGEMENT SYSTEM.
- ALL BUILDING LOTS TO BE CLEARED AT ISSUANCE OF BUILDING PERMIT.
- PAVEMENT ELEVATIONS SHOWN ARE EDGE OF PAVEMENT.

ROADWAY PAVING NOTES

- THE PROPOSED STABILIZED SUBGRADE SHALL HAVE L.B.R. OF 40 AND SHALL BE COMPACTED TO 98% MIN DENSITY AS DETERMINED BY AASHTO T-180.
- THE PROPOSED LIME ROCK BASE SHALL HAVE L.B.R. OF 100 AND SHALL BE PLACED IN TWO (2) LIFTS, WITH EACH LIFT COMPACTED TO 98% MIN DENSITY AS DETERMINED BY AASHTO T-180.
- LIME ROCK BASE SHALL BE FINISHED WITH TYPE BC-70 BITUMINOUS MATERIAL TO STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION (CURRENT EDITION).
- ONE (1) FIELD DENSITY TEST SHALL BE REQUIRED EVERY 200 L² OF PART 1 OF THE PROPOSED SURGRADE MATERIAL, AND ON EACH LIFT OF LIME ROCK BASE MATERIAL.
- TWO (2) COPIES OF THE L.O.R. PROCTOR AND COMP ACTION TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR SUBMITTAL TO C.C.P.R.S.
- FLOW ACROSS DRIVEWAYS SHALL HAVE A CONTINUOUS SLOPE FROM EDGE OF BUILDING DOWN TO MATCHING ROAD OR CURB GRADE. FLOW ACROSS GRASSED AREA SHALL BE 1% SLOPE, WITH BEST POSSIBLE CHANNELING OF FLOW INTO NEAREST CATCH BASIN OR LAKE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT WATER DISCHARGED FROM THE SITE DURING CONSTRUCTION SHALL MEET OR EXCEED STATE WATER QUALITY STANDARDS. SPECIFICALLY, THE TURBIDITY OF DISCHARGED WATER SHALL NOT EXCEED 29 NTU ABOVE THE BACKGROUND LEVEL AT THE POINT OF DISCHARGE. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL NECESSARY WATER QUALITY CONTROL MEASURES ARE INSTALLED, ESTABLISHED AND ACCEPTED.
- WHERE INDICATED, OR AS NECESSARY, SILT FENCES AND OR HAY BALES SHALL BE PLACED ALONG THE PROJECT PERIMETER TO PREVENT SEDIMENT IN RUNOFF AND RUNOFF WATER FROM LEAVING THE SITE.
- OWNER SHALL BE RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF ALL ON-SITE ROADWAYS & DRAINAGE FACILITIES.
- NOVD. PARKING AREAS MUST BE AT 15 OR 24 HR. STORM STAGE = 6.31
- NOVD. PARKING AREAS MUST BE AT 10 OR 24 HR. STORM STAGE = 6.03 NOVD.

DRAINAGE STRUCTURE INVERT ELEVATIONS		TYPE	
STRUCTURE	TOP	SOUTH	EAST
S-1	8.00	5.42	5.29
S-2	8.00	5.59	
S-3	5.60	3.50	2.00
S-4	5.60	3.50	2.00
S-5			



- DUMPSTER PAD SIZE REDUCED.
- SEWER TO DUMPSTER ENCLOSURE REMOVED.
- EPOXY-BOND CURB REMOVED EVERYWHERE.
- THE 24" CURB CALLED OUT AS NO ENTRY, NO PARKING, AND LANDSCAPE PLANTS ONLY.
- SOCKWALK TO ENTRY FOUNDATION REMOVED.
- REAR FOUNDATION AND WALL REMOVED.
- (2) 20-FOOT FRONT FLAG POLES RELOCATED.
- BIKE RACK RELOCATED.
- ENTRY FEATURE REDUCED.
- ARCHITECTURAL MODIFICATIONS (SEE ARCHITECTURAL PLANS).
- LANDSCAPING MODIFICATIONS (SEE LANDSCAPE ARCHITECTURAL PLANS).
- (2) WESTERN CURB CUES REMOVED. RIP RAP RETURNS.
- GRADE REVISIONS FOR CURB REMOVALS.

ORIGINAL SUBMITTAL
JUL 3 - 2006
APPLICATION NUMBER
060703-11
TWC SERVICE CENTER

tabbies

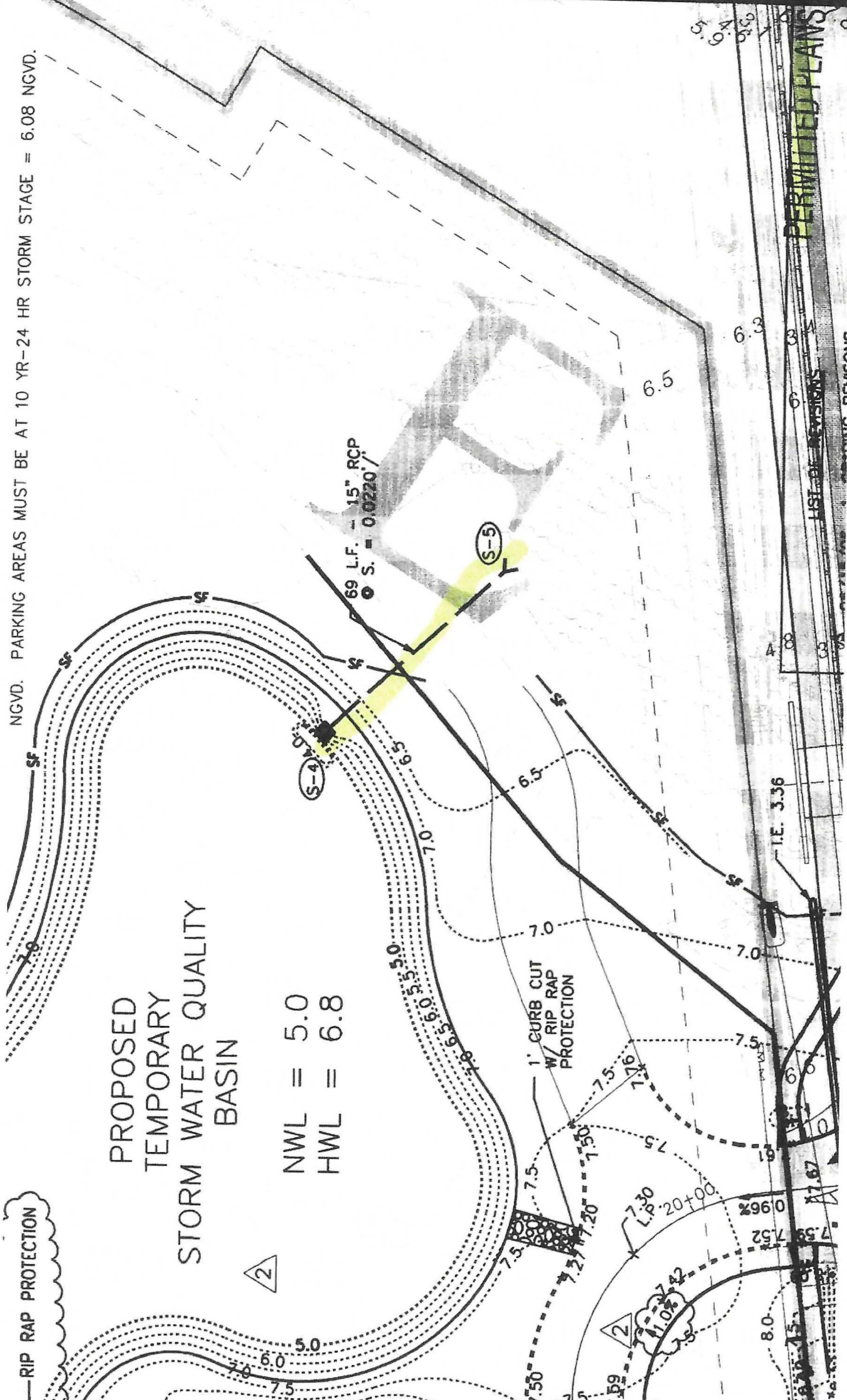
EXHIBIT H

— RIP RAP PROTECTION

PROPOSED
TEMPORARY
STORM WATER QUALITY
BASIN

NWL = 5.0
HWL = 6.8

NGVD. PARKING AREAS MUST BE AT 10 YR-24 HR STORM STAGE = 6.08 NGVD.

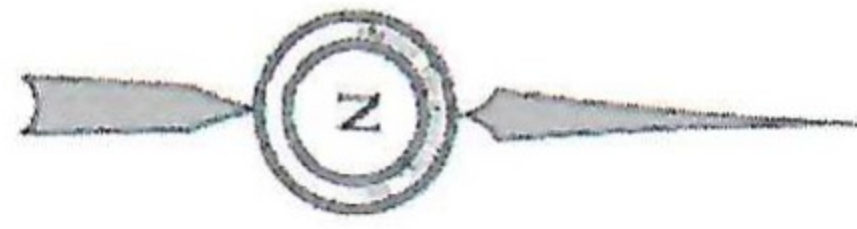
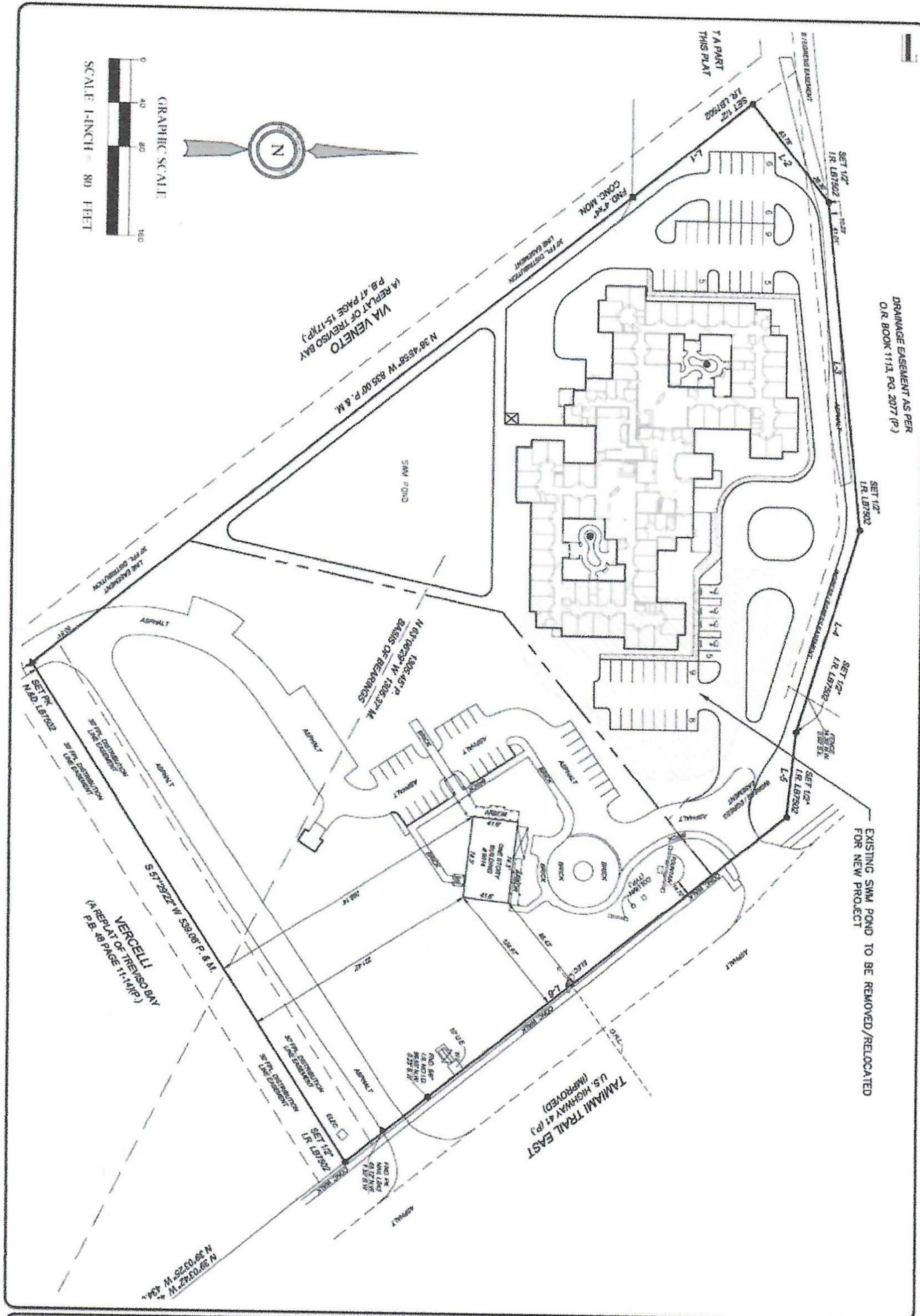


Date: 02/2006

Temporary Sales Facility

EXHIBIT D

Site Plan



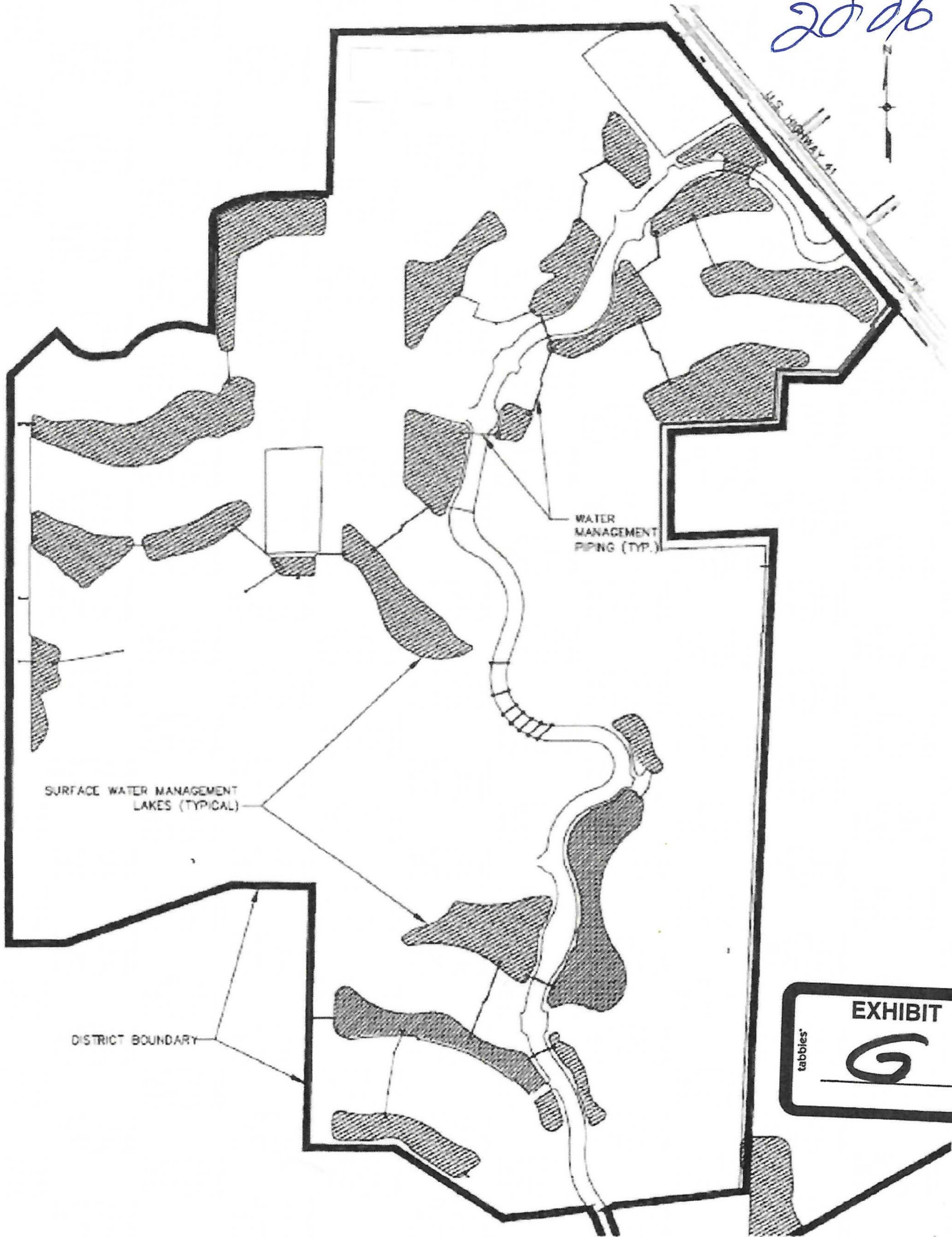
DRAINAGE EASEMENT AS PER
O.R. BOOK 1113, PG. 2017 (P. 2)

EXISTING SWM POND TO BE REMOVED/RELOCATED
FOR NEW PROJECT

<p>C 100</p>	<p>Preliminary Plan For Treviso Site Naples, Florida</p>	<p>Prepared For CERTIS PREMIER MEMORY CARE LIVING</p>	<p>2137 Park Avenue Lake Wales, FL 33851 Telephone: 863.676.7776 Facsimile: 863.676.7771</p>		<p>PRELIMINARY SITE PLAN</p>

SAME AS JET

2006



tabbies'

EXHIBIT

6

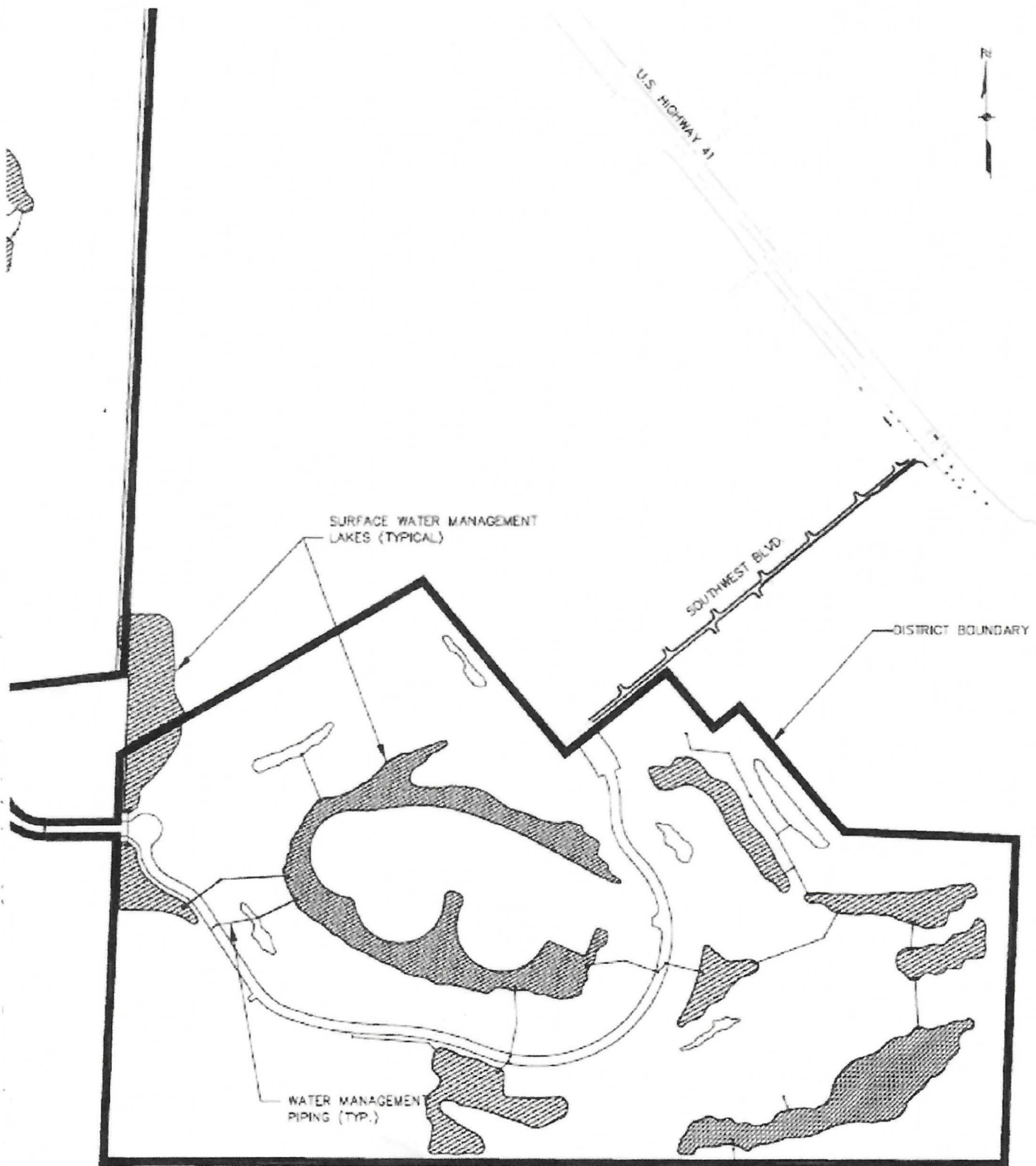


MORRIS ENGINEERING AND CONSULTING, LLC
 Civil Engineering and Land Development Consulting
 2004 53rd Avenue East, Bradenton, Florida 34203 C.A. 28760 941-228-4729 www.morrisengineering.com

DATE	2/17/12
PROJECT	COO
DRAWING	District Exhibits
DRAWN	DES
CHECKED	VJM

WENTWORTH ESTATES CDD
District Drainage Exhibit A
 Collier County, Florida

SCALE	
HTS	
SEC.-TSP.-RNG.	
SHEET	OF
8	10



M MORRIS ENGINEERING AND CONSULTING, LLC
 Civil Engineering and Land Development Consulting
 2004 53rd Avenue East, Bradenton, Florida 34203 C.A. 28780 941-223-4729 www.morrisengineering.net

DATE	2/17/12
PROJECT	CDD
DRAWING	District Exhibits
DRAWN	DES
CHECKED	VJM

WENTWORTH ESTATES CDD
District Drainage Exhibit B
 Collier County, Florida

SCALE	
N.T.S.	
SEC. - TSP. - RING.	
SHEET	OF
9	10

**SUPPLEMENTAL
ENGINEER'S REPORT**

FOR

The Wentworth Estates Community Development District

PREPARED FOR

BOARD OF SUPERVISORS

WENTWORTH ESTATES COMMUNITY DEVELOPMENT DISTRICT

APRIL 2006

Prepared by

**Johnson Engineering Inc.
2350 Stanford Court
Naples, Florida 34112**

**JOHNSON
ENGINEERING**



**JEREMY H. ENGLISH, P.E.
STATE OF FLORIDA
Professional Engineer Registration No. 61429**

APR 28 2006

**JOHNSON ENGINEERING, INC.
2350 Stanford Ct - Naples FL 34112
EB #0000642**

DEFENSE
TO 10/20

In addition to preserve enhancement work, State and Federal authorities also require wildlife mitigation fees. The District will pay mitigation improvement costs and fees.

BENEFITS TO VARIOUS LAND USE CATEGORIES

COMMERCIAL TRACT CDD BENEFITS

None of the CDD improvements are necessary for the development of the commercial tract. Consequently, the commercial tract has no direct benefit from the CDD improvements.

GOLF COURSE TRACT CDD BENEFITS

Water and sewer service is not required to the golf course itself, except for minor rest shelters. These shelters will include their own private grinder pumps and pressure force mains to tie into the CDD's internal gravity sewer system. The golf course will require irrigation water from the irrigation system.

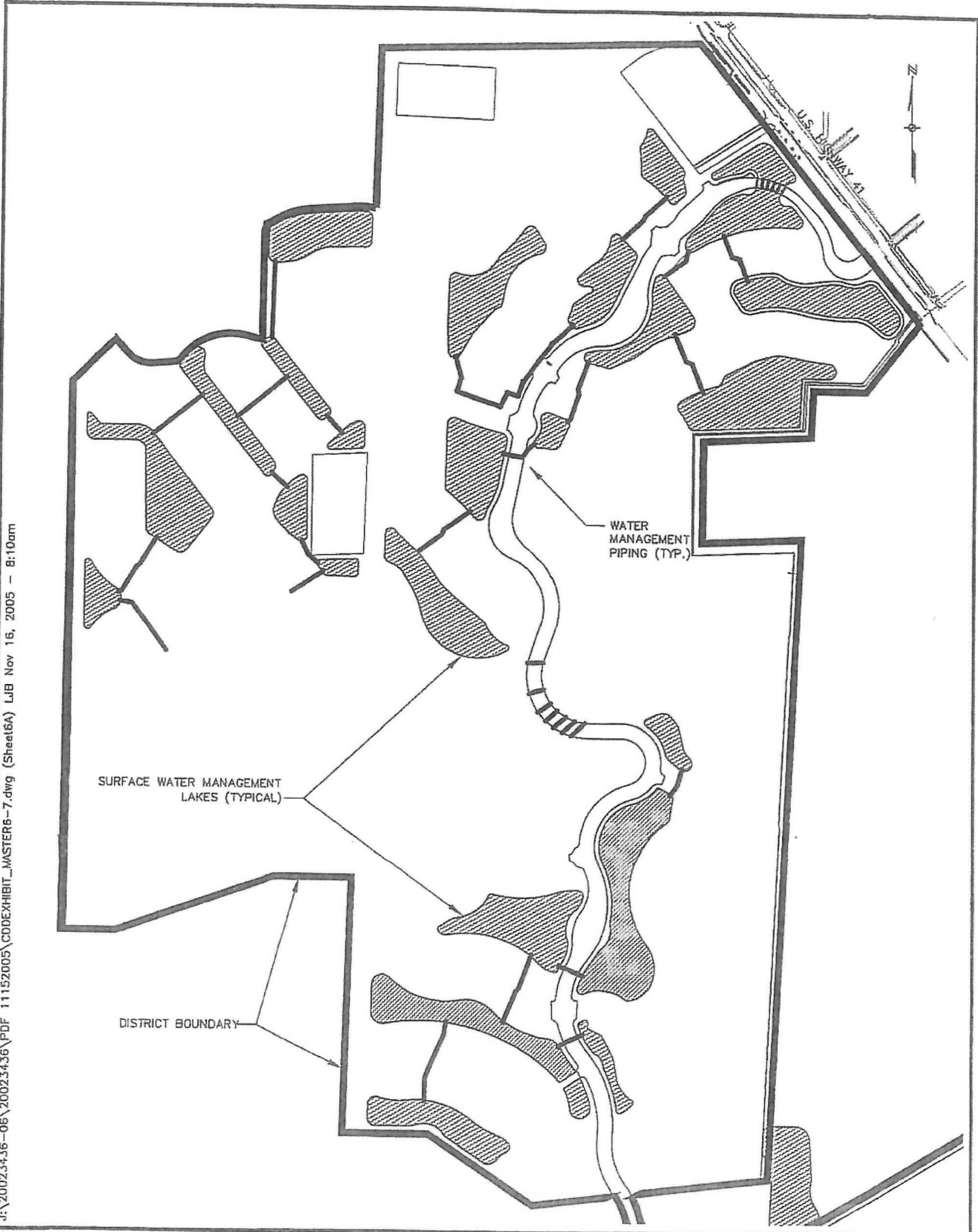
The surface water management system will provide a benefit to the golf course. Developed golf course area contributing runoff to the system is approximately 154 acres. This is golf course area that will be cleared and filled, and will contribute runoff into the water management system. This area includes the entire course playing area, practice areas, open space, clubhouse, parking, maintenance buildings and all other course related areas. This area does not include water management lake areas or conservation tracts. The total project developed area contributing runoff to the system is approximately 610 acres. This includes the golf course area listed above plus all other areas to be cleared and filled for residential development, commercial development, roads, common areas, open areas, etc. Since the golf course contains mostly pervious area, it will contribute a lower rate of runoff than the residential areas.

The golf course maintenance facility can have direct connections to existing water and sewer services along Southwest Boulevard and does not require the CDD infrastructure. The golf course clubhouse will require CDD facilities.

RESIDENTIAL TRACT CDD BENEFITS

The residential tracts within the District will require all of the project improvements for development. The residential tracts will benefit from all of the proposed project improvements.

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JOHNSON
ENGINEERING

2350 STANFORD COURT
NAPLES, FLORIDA 34112
PHONE (239) 434-0333
FAX (239) 434-9320
E.B. #642 & L.B. #642

WENTWORTH ESTATES CDD
SURFACE WATER MGMT. SYSTEM

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
2/17/05	20023436	30-50-26	NOT TO SCALE	6A

RESOLUTION 2021-6

A RESOLUTION OF THE BOARD OF SUPERVISORS OF WENTWORTH ESTATES COMMUNITY DEVELOPMENT DISTRICT AMENDING RESOLUTION 2021-4 ADOPTED MAY 13, 2021 TO REPLACE EXHIBIT “B” (GENERAL FUND SPECIAL ASSESSMENT METHODOLOGY AND ASSESSMENT ROLL DUE) TO CORRECT A CLERICAL ERROR; CONFIRMING ITS CERTIFICATION OF AN ASSESSMENT ROLL AND APPROVAL OF THE GENERAL FUND SPECIAL ASSESSMENT METHODOLOGY; PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

RECITALS

WHEREAS, on May 13, 2021 the Board of Supervisors (the “Board”) of Wentworth Estates Community Development District (the “District”) adopted Resolution No. 2021-4 (the “Annual Assessment Resolution”) imposing annual operation and maintenance special assessments, certifying an assessment roll, approving the general fund special assessment methodology, and providing the manner in which assessment levies by the District would be collected; and

WHEREAS, incorporated into the Annual Assessment Resolution as Exhibit “B” was that certain General Fund Special Assessment Methodology of the Wentworth Estates Community Development District (the “Methodology”), which Methodology incorporated as its Table 1 the annual assessment roll for the District (“Assessment Roll”); and

WHEREAS, an incorrect version of the Methodology (incorporating the Assessment Roll) was attached to the executed version of the Annual Assessment Resolution; and

WHEREAS, the Board wishes to amend the Annual Assessment Resolution to incorporate the correct version of Exhibit “B”; and

WHEREAS, the Board further desires to confirm its adoption of correct version of the Methodology, which is attached hereto as Exhibit “B” (FINAL); and

WHEREAS, the Board desires to further confirm its adoption of the Assessment Roll attached to this Resolution as Table 1 to Exhibit “B” (FINAL) and its certification of the Assessment Roll on those properties noted on Table 1 to Exhibit “B” (FINAL) to the Collier County Tax Collector pursuant to the Uniform Method.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF WENTWORTH ESTATES COMMUNITY DEVELOPMENT DISTRICT AS FOLLOWS:

SECTION 1. RECITALS. The foregoing recitals are true and correct and incorporated herein by this reference.

SECTION 2. AMENDMENT TO EXHIBIT “B” OF THE ANNUAL ASSESSMENT RESOLUTION. Exhibit “B” of the Annual Assessment Resolution is hereby amended and replaced in its entirety with the Methodology attached to this Resolution as Exhibit “B” (FINAL).

SECTION 3. CONFIRMATION OF ASSESSMENT IMPOSITION. For avoidance of doubt, the Board confirms that a special assessment for operation and maintenance as provided for in Chapter 190, Florida Statutes and levied by Resolution 2021-4 remains imposed and levied on benefitted lands within the District in accordance with the Methodology attached as Exhibit “B” (FINAL) to this Resolution. The lien of the special assessments for operations and maintenance imposed and levied by Resolution 2021-4, as amended by this Resolution, shall remain in full force and effect as amended.

SECTION 4. CONFIRMATION OF ASSESSMENT ROLL. For avoidance of doubt, the District confirms that the District’s assessment roll, as amended by the Assessment Roll attached to this Resolution as Table 1 to Exhibit “B” (FINAL), is hereby certified. That portion of the District’s Assessment Roll which includes developed lands and platted lots is hereby certified to the County Tax Collector and shall be collected by the County Tax Collector in the same manner and time as County taxes. The proceeds therefrom shall be paid to the District.

SECTION 5. SEVERABILITY. If any section or part of a section of this Resolution be declared invalid or unconstitutional, the validity, force and effect of any other section or part of a section of this Resolution shall not thereby be affected or impaired unless it clearly appears that such other section or part of a section of this Resolution is wholly or necessarily dependent upon the section or part of a section so held to be invalid or unconstitutional.

SECTION 6. CONFLICTS. This Resolution is intended to amend the Annual Assessment Resolution, which resolution shall remain in full force and effect except to the extent modified herein. This Resolution and the Annual Assessment Resolution shall be construed to the maximum extent possible to give full force and effect to the provisions of each resolution. All District resolutions or parts thereof in actual conflict with this Resolution are, to the extent of such conflict, superseded and repealed.

SECTION 7. EFFECTIVE DATE. This Resolution shall become effective upon its adoption.

{Remainder of page intentionally left blank. Signatures appear on next page.}

PASSED AND ADOPTED this 10th day of June, 2021.

**WENTWORTH ESTATES
COMMUNITY DEVELOPMENT
DISTRICT**

ATTEST:

James P. Ward, Secretary

Joseph Newcomb, Chairman

Exhibit:

Exhibit "B" (FINAL): General Fund Special Assessment Methodology of the Wentworth Estates Community Development District

Exhibit "B" (FINAL)

EXHIBIT B

WENTWORTH ESTATES COMMUNITY
DEVELOPMENT DISTRICT

Special Assessment Methodology
Fiscal Year 2022 – General Fund

Prepared by:

04/29/2021

JPWard & Associates LLC

JAMES P. WARD

954.658.4900

JIMWARD@JPWARDASSOCIATES.COM



2301 NE 37 STREET
FORT LAUDERDALE, FLORIDA 33308

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SPECIAL ASSESSMENT METHODOLOGY

1.0 PURPOSE

This report is intended to introduce to the Wentworth Estates Community Development District an operations methodology to fund the annual operations and maintenance requirements for the District. The methodology will outline the properties within the District that are subject to the Assessment and the benefit conferred on each property by the services and projects provided by the Districts' operational and maintenance activities. This report covers the District Fiscal Year 2022, which begins on October 1, 2021 and ends on September 30, 2022.

The Methodology will have two (2) primary objectives: (1) to determine the special and peculiar benefits that flow to the assessable properties in the District; and (2) apportioning the proportionate benefits on a basis that is fair and reasonable. The Methodology herein is intended to set forth a framework to apportion the costs associated with the operations and maintenance expenditures benefiting properties on a fair and equitable apportionment. The report is designed to conform to the requirements of Chapter's 189, 190 and 197, Florida Statutes and is consistent with the District's understanding of the case law on this subject.

2.0 BACKGROUND

The District was established by Collier County effective June 15, 2004, and the District boundaries were amended to exclude approximately 5 acres of land in the District in April 3, 2006. The District is located within unincorporated Collier County and encompasses approximately 973 acres of land. The development is situated approximately five (5) miles southeast of the City of Naples and approximately eight miles southwest of Interstate-75. The District includes approximately 1,428 residential units including condominiums, coach homes, and single family lots of varying sizes, as well as commercial property representing 2.10050% and golf course property which is not assessed.

3.0 REQUIREMENTS FOR A VALID ASSESSMENT METHODOLOGY

Valid assessments under Florida Law have two (2) requirements. First, the properties assessed must receive a special and peculiar benefit as a logical connection from the systems and services constituting improvements. The courts recognize the special benefits that flow as a logical connection peculiar to the property which in turn may result in decreased insurance premiums, increased value and marketability. Second, the assessments must be fairly and reasonably apportioned in relation to the benefit received by the various properties being assessed.

If these two tests for lienability are determined in a manner that is informed and non-arbitrary by the Board of Supervisors of the District, as a legislative determination, then the special assessments may be levied, imposed and collected as a first lien on the property. Florida courts have found that it is not necessary to calculate benefit with mathematical precision at the time of imposition and levy so long as the levying and imposition process is not arbitrary, capricious or unfair.

4.0 ASSESSMENT ALLOCATION STRUCTURE

Special and peculiar benefits flow as a logical connection to the property from the operation and maintenance related services provided as a logical consequence to the property within the boundary of the District. These special benefits are peculiar to the acreage and later down to the actual platted units or parcels. The special benefits that justify imposing the assessment on the acreage include enhanced enjoyment and increased use, which may result in such positive consequences as increased value and marketability and decreased insurance premiums when levied on the various platted units or parcels of property.

5.0 ASSIGNMENT OF ASSESSMENTS

The apportionment of benefit in such a methodology report is based on accepted practices for the fair and equitable apportionment of special benefits in accordance with applicable laws and the procedure for the imposition, levy and collection of non ad valorem special assessments as set forth in the District Act and in conformity with State Laws applicable to such assessments.

The standard assessment analysis utilizes an allocation based upon the benefit that a property receives from each separate component of the District's O&M activities. The Fiscal Year 2021 General Fund Budget includes both administrative costs and operations costs and the assessments should be based equally and ratably on an equivalent number of residential units assigned to the property. As such, each residential unit is assigned one Equivalent Residential Unit (ERU) and the commercial property to be developed at the entrance to the community is assigned 91 ERU's.

6.0 ASSESSMENT ROLL

As described above, the allocation associated with the District's General Fund Activities are distributed across all assessable units within the boundaries of the District. Table 1 provides the assessment roll based on updated parcel account information provided by the Collier County Property Appraiser's office assigning the appropriate parcel identification numbers for the lands currently platted within the boundaries of the District. A portion of the

developable land is platted and the appropriate parcel identification numbers assigned by the Property Appraiser are known, the following table will only be updated to reflect any changes in ownership within the boundaries of the Development.



**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
23896800022	Z - Common	0	TREVISO BAY PROPERTY OWNERS	BELLA FIRENZE	\$ -
23896800048	Z - Common	0	TREVISO BAY PROPERTY OWNERS	BELLA FIRENZE	\$ -
23896800064	Z - Common	0	TREVISO BAY PROPERTY OWNERS	BELLA FIRENZE	\$ -
23896800080	Z - Common	0	TREVISO BAY PROPERTY OWNERS	BELLA FIRENZE	\$ -
23896800103	Z - Common	0	WENTWORTH ESTATES CDD	BELLA FIRENZE	\$ -
23896800129	Z - Common	0	WENTWORTH ESTATES CDD	BELLA FIRENZE	\$ -
23896800145	Z - Common	0	WENTWORTH ESTATES CDD	BELLA FIRENZE	\$ -
23896800161	Z - Common	0	TREVISO BAY PROPERTY OWNERS	BELLA FIRENZE	\$ -
23896800187	75	1	ANTONIO, SUSAN E	BELLA FIRENZE	\$ 726.11
23896800200	75	1	LUNING, THOMAS J=& ANNEMARIE	BELLA FIRENZE	\$ 726.11
23896800226	75	1	PANETTIERI, DEAN	BELLA FIRENZE	\$ 726.11
23896800242	75	1	COHEN, STEVEN R	BELLA FIRENZE	\$ 726.11
23896800268	75	1	DUARTE, VALERIE=& EDMUND	BELLA FIRENZE	\$ 726.11
23896800284	75	1	ROMERO, MAXIMILIANO F	BELLA FIRENZE	\$ 726.11
23896800307	75	1	BARRINGER JR, WILLIAM LEE	BELLA FIRENZE	\$ 726.11
23896800323	75	1	KROH, MONTE A	BELLA FIRENZE	\$ 726.11
23896800349	75	1	BUONGIORNO, JOSEPH J =& ROSINA	BELLA FIRENZE	\$ 726.11
23896800365	75	1	BOYER, JOHN W=& KATHRYN M	BELLA FIRENZE	\$ 726.11
23896800381	75	1	HELLBERG, CLIFFORD ERIC	BELLA FIRENZE	\$ 726.11
23896800404	75	1	CORRIGAN, TIMOTHY W	BELLA FIRENZE	\$ 726.11
23896800420	75	1	KLETT, JOHN	BELLA FIRENZE	\$ 726.11
23896800446	75	1	DAVIS, JOHN=& GEORGIANN	BELLA FIRENZE	\$ 726.11
23896800462	75	1	D'ALESSANDRO, RICHARD V	BELLA FIRENZE	\$ 726.11
23896800488	75	1	JEFFREY CLARKE LIVING TRUST	BELLA FIRENZE	\$ 726.11
23896800501	75	1	DWAN, JOHN C=& JUDITH	BELLA FIRENZE	\$ 726.11
23896800527	75	1	CHARLES R ANDERSON REV TRUST	BELLA FIRENZE	\$ 726.11
23896800543	75	1	TIGHE, TIMOTHY A	BELLA FIRENZE	\$ 726.11
23896800569	75	1	LEITI, JAMES G	BELLA FIRENZE	\$ 726.11
23896800585	75	1	IPPOLITO, DAVID	BELLA FIRENZE	\$ 726.11
23896800608	75	1	PIGGOTT, CAMERON=& MARY SUSAN	BELLA FIRENZE	\$ 726.11
23896800624	75	1	ATKINSON, DAVID JOSEPH	BELLA FIRENZE	\$ 726.11
23896800640	75	1	SLATER, PAUL=& LINDA	BELLA FIRENZE	\$ 726.11
23896800666	75	1	FRANK J TYCAST REV TRUST	BELLA FIRENZE	\$ 726.11
23896800682	75	1	KATIGBAK, PAUL B=& KIMBERLY J	BELLA FIRENZE	\$ 726.11
23896800705	75	1	OGANOWSKI, KASIMIR=& SHERYL	BELLA FIRENZE	\$ 726.11
23896800721	75	1	RICHARDELLO, MICHAEL A	BELLA FIRENZE	\$ 726.11
23896800747	75	1	FERRELL, BRIAN D=& MARY C	BELLA FIRENZE	\$ 726.11
23896800763	75	1	SALOMON, ROBERT S	BELLA FIRENZE	\$ 726.11
23896800789	75	1	CHRISTIANSEN, LOUIS J	BELLA FIRENZE	\$ 726.11
23896800802	75	1	COLONNELLI, NINO=& LISA A	BELLA FIRENZE	\$ 726.11
23896800828	75	1	ALLGAYER, WERNER=& RITA	BELLA FIRENZE	\$ 726.11
23896800844	75	1	CATHERINE L CIRECO REV TRUST	BELLA FIRENZE	\$ 726.11
23896800860	75	1	JENNIFER H ROWLAND QPRT	BELLA FIRENZE	\$ 726.11
23896800886	75	1	BURGHARDT, JOERG G=& ULRIKE A	BELLA FIRENZE	\$ 726.11
23896800909	75	1	SICILIANO, PHILIP=& MARIE	BELLA FIRENZE	\$ 726.11
23896800925	75	1	VOXAKIS, ANGELO=& EUGENIA	BELLA FIRENZE	\$ 726.11
23896800941	75	1	WOODS JR, JAMES F=& NANCY G	BELLA FIRENZE	\$ 726.11
23896800967	75	1	BINETTI, CRAIG=& SALLY	BELLA FIRENZE	\$ 726.11
23896800983	75	1	BARBER, KEVIN	BELLA FIRENZE	\$ 726.11
23896801005	75	1	POWELL, DANIEL MARK	BELLA FIRENZE	\$ 726.11
23896801021	75	1	J R & B J HOIDA JT REV TRUST	BELLA FIRENZE	\$ 726.11
23896801047	75	1	NORGARD, DAVID W	BELLA FIRENZE	\$ 726.11
23896801063	75	1	MAZZARRO FAMILY TRUST	BELLA FIRENZE	\$ 726.11
23896801089	75	1	ROBERT A RATH JR REV TRUST	BELLA FIRENZE	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
23896801102	75	1	HOWARD TRUST	BELLA FIRENZE	\$ 726.11
23896801128	75	1	C L & S L SKALLERUP REV TRUST	BELLA FIRENZE	\$ 726.11
23896801144	75	1	MAHONEY, SEAN	BELLA FIRENZE	\$ 726.11
23896801160	75	1	STEVEN D KING REV TRUST	BELLA FIRENZE	\$ 726.11
23896801186	75	1	DANIEL R GAUGLER 2ND	BELLA FIRENZE	\$ 726.11
23896801209	75	1	VIRGINIA COMSTOCK TOCCI TRUST	BELLA FIRENZE	\$ 726.11
23896801225	75	1	BUCCHIGNANO, SHARON=& JOHN	BELLA FIRENZE	\$ 726.11
23896801241	75	1	DEPINTO, ROBERT	BELLA FIRENZE	\$ 726.11
23896801267	75	1	BODNER, CHARLES	BELLA FIRENZE	\$ 726.11
26149200020	Coach	1	URCZYK, JEFFEREY=& LOIS	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200046	Coach	1	MALKIEWICZ, STAN=& EVA	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200062	Coach	1	OBY, DOUGLAS KENNETH	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200088	Coach	1	NEUKUM, JOSEPH JAMES	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200101	Coach	1	TOBIN, ROBERT T=& JOAN G	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200127	Coach	1	PICCIONE, MARIO=& FRANCA LIDIA	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200143	Coach	1	WETZEL GAIL BIAS & CATHLEEN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200169	Coach	1	RIMBEY, ROBERT A=& KAREN J	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200185	Coach	1	KNICKLE, H NORMAN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200208	Coach	1	BRUEN, JOYCE A=& EDWARD E	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200224	Coach	1	DINIZO, RALPH	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200240	Coach	1	ALAMPI FAMILY LTD PARTNERSHIP	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200266	Coach	1	PALAZZOLO, ANTONIO	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200282	Coach	1	MARTIN JR, ROBERT JOHN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200305	Coach	1	TORTO, JEFFREY B=& DEBORAH A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200321	Coach	1	VANIER, DENNIS P	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200347	Coach	1	UGIANSKY, ROBERT L	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200363	Coach	1	HOSPOD, THOMAS F	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200389	Coach	1	GULISH, MICHAEL J=& JUDITH S	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200402	Coach	1	SAPERSTEIN, MARC=& HELENE	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200428	Coach	1	LOWRIE, REGINA M	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200444	Coach	1	TRABERT, MARK J=& LOUANN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200460	Coach	1	MICHAEL P SPYRIDAKIS REV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200486	Coach	1	NARKE, JOHN J=& MARGARET A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200509	Coach	1	FRUITERMAN, MARK L=& STACY H	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200525	Coach	1	GRAFFEO, VICTORIA A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200541	Coach	1	JORDAN, JOHN H=& NANCY L	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200567	Coach	1	SHANDA, LAWRENCE P=& BETH A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200583	Coach	1	HAGGSTROM, INGEMAR=& FATIMA	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200606	Coach	1	MADSEN JR, THOMAS J	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200622	Coach	1	JUDY W COOLBAUGH REV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200648	Coach	1	CODY, ROBERT K=& CANDACE H	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200664	Coach	1	SALAH ABDELATI LIV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200680	Coach	1	MARY MYLES TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200703	Coach	1	BARTLETT FAMILY LIV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200729	Coach	1	DEFISHER, GREGORY A=& SUSAN Z	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200745	Coach	1	MICHAEL C MAHONEY TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200761	Coach	1	AUGUSTINO A INGOGLIA REV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200787	Coach	1	BISHOP, DAVID R=& LAURA H	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200800	Coach	1	LACROIX, ROBERT L	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200826	Coach	1	MARTIN, JEFFREY	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200842	Coach	1	SERGIO GIANGRANDE LIV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200868	Coach	1	HANEIN CHAGOURY & FULLER FAM	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200884	Coach	1	KIRK, ALEX	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200907	Coach	1	JORDAN, PAMELA J=& MARLON D	COACH HOMES I AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
26149200923	Coach	1	HENRIKSSON ET AL, THOMAS	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200949	Coach	1	GREGORY WILLIAM MARRA TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200965	Coach	1	TSAVARIS, MICHAEL A=& MARY C	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149200981	Coach	1	ARMSTRONG, PHILIP B=& DIANA R	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201003	Coach	1	PETRY, JOSEPH W=& LYNN P	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201029	Coach	1	SPILLANE, JOHN J	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201045	Coach	1	LENTINE, STEPHEN M=& JOSEPHINE	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201061	Coach	1	LINDA D BERTANI REV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201087	Coach	1	FRIEDMAN, NANCY C	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201100	Coach	1	JODY LOU WIETHOFF R/L TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201126	Coach	1	HIGGINS, MARTIN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201142	Coach	1	9487 NAPOLI LANE LAND TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201168	Coach	1	CIABURRO, ANTHONY=& SANDRA L	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201184	Coach	1	DONALD W ORT TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201207	Coach	1	JOSEPH J RACZ FAM REV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201223	Coach	1	JOANNE M FOURNIER REV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201249	Coach	1	MILLER, WILLIAM T	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201265	Coach	1	THORN, KENNETH H=& DAWN L	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201281	Coach	1	GALLANT REVOCABLE TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201304	Coach	1	REGAS, LAWRENCE A=& KRISTINE M	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201320	Coach	1	PACITTI, JAMES A=& DOROTHY A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201346	Coach	1	CAROL K TOBIN DEC OF REV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201362	Coach	1	KOMOROWSKI FLORIDA TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201388	Coach	1	LIPAROTO, LEONARDO J=& JULIE	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201401	Coach	1	PIVOVAR, JAMES A=& NICOLINA	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201427	Coach	1	ZIZZO, EMILY A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201443	Coach	1	MEURER, PETER	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201469	Coach	1	VAN HOY, VERN E=& LAUREN E	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201485	Coach	1	STEVE GRAPSAS GTR TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201508	Coach	1	SPILMAN, JEFFREY=& ROBIN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201524	Coach	1	MELLO, GLENN G=& MARGUERITE M	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201540	Coach	1	KENNETH D HINTLIAN TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201566	Coach	1	QUIGG, JOHN=& ROSEMARIE	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201582	Coach	1	SCHACHNER, THOMAS JOSEPH	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201605	Coach	1	PERRIN, THOMAS R=& CAROLE S	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201621	Coach	1	MILLER, STEVEN E=& ANNE F	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201647	Coach	1	JAMES & DIANE MACIOCE LV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201663	Coach	1	LOERA, ARTURO=& BRENDA B	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201689	Coach	1	MCQUADE, MICHAEL F	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201702	Coach	1	SUN, XIAOFAN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201728	Coach	1	LEE R SARDELLA REV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201744	Coach	1	SWANFARM LLC	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201760	Coach	1	DURST, DANIEL JOHN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201786	Coach	1	SZYMANSKI, BRIAN A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201809	Coach	1	JOHNSTON, ARTHUR=& MARLENE	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201825	Coach	1	ZIZZO, EMILY A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201841	Coach	1	WILLIAMS, RICKIE JOHN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201867	Coach	1	SHERREN, HENRY J=& SARAH A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201883	Coach	1	YOUNG, MATTHEW ION	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201906	Coach	1	FEDERICI, JOSEPH R=& ALICE	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201922	Coach	1	KAMINSKI, EUGENE	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201948	Coach	1	VIVINETTO, ANTHONY=& LISA	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201964	Coach	1	POTEET, DANE A=& PATRICIA N	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149201980	Coach	1	SCHERZER, PATRICK J=& JULIE E	COACH HOMES I AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
26149202002	Coach	1	NAPOLI 2822 LLC	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202028	Coach	1	KASEWURM, DAVID CARL	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202044	Coach	1	JENKINS, STEVEN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202060	Coach	1	DCDH REALTY TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202086	Coach	1	ALIOTO, MICHAEL=& MARY ANNE	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202109	Coach	1	DESTEFANO, EUGENE=& DOROTHY	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202125	Coach	1	ERDMAN, MICHAEL F=& MICHELLE W	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202141	Coach	1	TREVENA, JAMES M=& LAURA S	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202167	Coach	1	DEGASPERIS, RONALD=& ROSE	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202183	Coach	1	WISSNER, KENNETH I=& CARRIE A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202206	Coach	1	JAMES T KENYON REV TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202222	Coach	1	MOORE, KEITH D=& CAROLYN	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202248	Coach	1	2015 GALANT PROPERTY TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202264	Coach	1	NOBIL, STEVEN M=& LAURA A	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202280	Coach	1	CARRIE RUDMAN DEC OF TRUST	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202303	Coach	1	HALEY, BARRY	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202329	Coach	1	CIRILLO, PETER R	COACH HOMES I AT TREVISO BAY	\$ 726.11
26149202426	Coach	1	SUSAN ROUTH LIVING TRUST	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202442	Coach	1	UCCI, THOMAS=& MAUREEN E	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202468	Coach	1	LOWENHAUPT, PHILIP J	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202484	Coach	1	LEKAS, JOANNE S	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202507	Coach	1	MCGEE, BRIAN M=& LORI J	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202523	Coach	1	GEOFFREY T WELCH LIV TRUST	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202549	Coach	1	CAMARATO, GREGORY	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202565	Coach	1	YERGER, RICHARD E	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202581	Coach	1	GIBNEY, TIMOTHY J	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202604	Coach	1	BOHRER, DAVID A=& PATRICIA L	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202620	Coach	1	WEBER, PATRICK CHARLES	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202646	Coach	1	WILSON, ROBERT C=& SUSAN M	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202662	Coach	1	HAGOOD, CHARLES=& TERRI T	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202688	Coach	1	CURTIS STUDOR R/E HLDGS LLC	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202701	Coach	1	LIBERTO, WILLIAM P	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202727	Coach	1	AXINN, BARBARA	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202743	Coach	1	TIMOTHY F CONWAY REV TRUST	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202769	Coach	1	VERBOS, EDWARD	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202785	Coach	1	MARANO, STEVEN=& CATHERINE	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202808	Coach	1	SWINGLE JR, JOSEPH W	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202824	Coach	1	DAHRINGER, JOHN C=& MARY JANE	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202840	Coach	1	ROUNTREE, DOUGLAS B	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202866	Coach	1	CALARCO, JOHN ROD	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202882	Coach	1	RIGGS, PRESTON	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202905	Coach	1	AIREY, MICHAEL K=& DENISE	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202921	Coach	1	BAKER, TED H	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202947	Coach	1	VILLANTI, ROBERT	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202963	Coach	1	ZACCOLI, ANTHONY	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149202989	Coach	1	SOBON, MARK CHRISTOPHER	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203001	Coach	1	DEMASI, LISA M	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203027	Coach	1	HOSEY, THOMAS CARL=& MARY ANN	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203043	Coach	1	ROY E & SHARI L KLEIN JT TRUST	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203069	Coach	1	GEORGE L PAULEY TRUST	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203085	Coach	1	SADOWSWKI, JAMES S	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203108	Coach	1	MURRELL, ALLISON	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203124	Coach	1	DOERNER, THOMAS=& MARTHESE	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203140	Coach	1	MASCI, IGINIO=& KAREN	COACH HOMES II AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
26149203166	Coach	1	RIZZO, SUSAN	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203182	Coach	1	HENNIE, DAVID=& KAREN	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203205	Coach	1	SHAHEEN, MICHAEL J=& ROBYN L	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203221	Coach	1	SULLIVAN ET AL, JERRY W	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203247	Coach	1	WILLIAM R CLAYPOLE TRUST	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203263	Coach	1	BONACUSO, THOMAS E	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203289	Coach	1	COLANDO, TERESA A	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203302	Coach	1	LAROSA SR, JOSEPH J=& LORETTA	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203328	Coach	1	2561649 ONTARIO INC	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203344	Coach	1	MALTZ, DEREK S=& PATRICIA	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203360	Coach	1	ROXBROUGH, CAROL M	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203386	Coach	1	BALBIR C SEAM & KUSUM B SEAM	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203409	Coach	1	JELINEK, EDWARD R=& MARY W	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203425	Coach	1	MONTGOMERY, BILLY G	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203441	Coach	1	CANNONE, SUSAN E	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203467	Coach	1	OBRIEN, THOMAS J=& DOREEN	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203483	Coach	1	VEST, JEREMY	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203506	Coach	1	MILEVSKI, NIKOLCE=& NANCY	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203522	Coach	1	MURTAGH, KEVIN J	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203548	Coach	1	HALPIN, NEIL=& DEBORAH	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203564	Coach	1	DEBORAH L LAWSON TRUST	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203580	Coach	1	REBELLO, IVAN J	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203603	Coach	1	FOTI, PETER J=& FRANCES C	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203629	Coach	1	MILLER, JEFFREY LEE	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203645	Coach	1	STROH, VIRGINIA	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203661	Coach	1	ANTONELLI, RONALD N=& JOANN M	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203687	Coach	1	MICHNO, RICHARD=& ROSEMARY	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203700	Coach	1	MCGUIRE, WILLIAM P=& SUSAN J	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203726	Coach	1	DRAKE, CHARLES W=& ELLEN P	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203742	Coach	1	KALERGIS, SHIRLEY JEAN	COACH HOMES II AT TREVISO BAY	\$ 726.11
26149203768	Coach	1	WOLFRUM FAMILY JOINT REV TRUST	COACH HOMES II AT TREVISO BAY	\$ 726.11
29860000027	Coach	1	POMPEO, MARCO=& RITA	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000043	Coach	1	POMPEO, ANTHONY	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000069	Coach	1	STEVEN RICHARDS & ELIZABETH	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000085	Coach	1	LAURETTA PRESTERA TRUST	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000108	Coach	1	WILKS, CRAIG F=& SUSAN A	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000124	Coach	1	JAMES E MILLIGAN REVOC TRUST	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000140	Coach	1	GRANT, LAWRENCE N=& MARY BETH	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000166	Coach	1	MEDUGNO, NEIL A	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000182	Coach	1	TURBACZEWSKI, GARY G=& KAREN F	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000205	Coach	1	MARY LYNN WHEATON REV TRUST	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000221	Coach	1	JOHN LEVON TOURYAN REV TRUST	DI NAPOLI A CONDOMINIUM	\$ 726.11
29860000247	Coach	1	KRAKOWSKI, PETER M=& CATHY	DI NAPOLI A CONDOMINIUM	\$ 726.11
52532000021	Z - Common	0	TREVISO BAY PROPERTY OWNERS	ITALIA TRACT C-1	\$ -
52532000047	Z - Common	0	TREVISO BAY PROPERTY OWNERS	ITALIA TRACT C-2	\$ -
52532000063	Z - Common	0	TREVISO BAY PROPERTY OWNERS	ITALIA TRACT C-3	\$ -
52532000076	Z - Common	0	TREVISO BAY PROPERTY OWNERS	ITALIA TRACT C-4	\$ -
52532000089	Z - Common	0	WENTWORTH ESTATES CDD	ITALIA TRACT L-1	\$ -
52532000102	Z - Common	0	WENTWORTH ESTATES COMMUNITY	ITALIA TRACT L-2	\$ -
52532000128	Z - Common	0	TREVISO BAY PROPERTY OWNERS	ITALIA TRACT R-2	\$ -
52532000144	Z - Common	0	TREVISO BAY PROPERTY OWNERS	ITALIA TRACT R-5	\$ -
52532000160	Z - Common	0	TREVISO BAY PROPERTY OWNERS	ITALIA TRACT R-6	\$ -
52532000186	75	1	HOCKSTRA, JOHN R=& TRACI L	ITALIA LOT 1	\$ 726.11
52532000209	75	1	ELAINE SWINGLE REV TRUST	ITALIA LOT 2	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
52532000225	75	1	PRADELSKI, ROBERT E=& CHERYL A	ITALIA LOT 3	\$ 726.11
52532000241	75	1	HAMALIAN FAMILY LIVING TRUST	ITALIA LOT 4	\$ 726.11
52532000267	75	1	TOLENTINO, JONATHAN=& HELENE	ITALIA LOT 5	\$ 726.11
52532000283	75	1	SCHERMER, DAVID R=& LINDA A	ITALIA LOT 6	\$ 726.11
52532000306	75	1	KARRAS, SPIRO C=& THEODORA	ITALIA LOT 7	\$ 726.11
52532000322	75	1	STRAUSS, FRANK	ITALIA LOT 8	\$ 726.11
52532000348	75	1	PETROSKY, MARK=& CYNTHIA	ITALIA LOT 9	\$ 726.11
52532000364	75	1	SHARON S BORROWMAN 2007 TRUST	ITALIA LOT 10	\$ 726.11
52532000380	75	1	HART, DAVID E	ITALIA LOT 11	\$ 726.11
52532000403	75	1	PHELPS, DAVID=& MADELINE	ITALIA LOT 12	\$ 726.11
52532000429	75	1	KUGLER, THOMAS=& JOANNE	ITALIA LOT 13	\$ 726.11
52532000445	75	1	HUTCHINSON, LARRY G	ITALIA LOT 14	\$ 726.11
52532000461	75	1	RIZZO, FRANCIS S=& DEBORAH M	ITALIA LOT 15	\$ 726.11
52532000487	75	1	MCKIERNAN, ANTHONY	ITALIA LOT 16	\$ 726.11
52532000500	75	1	BROWN, MARYANN	ITALIA LOT 17	\$ 726.11
52532000526	75	1	MEIER, THOMAS=& KELLY	ITALIA LOT 18	\$ 726.11
52532000542	75	1	EDWARD W KANARA REV LIV TRUST	ITALIA LOT 19	\$ 726.11
52532000568	75	1	WILKINSON, MICHAEL=& JULIA	ITALIA LOT 20	\$ 726.11
52532000584	75	1	CONNOLLY, JAMES=& HEATHER	ITALIA LOT 21	\$ 726.11
52532000607	75	1	WOLANSKI, JOHN=& LORI	ITALIA LOT 22	\$ 726.11
52532000623	75	1	ROBERT B FRASER LIVING TRUST	ITALIA LOT 23	\$ 726.11
52532000649	75	1	LAND TRUST AGREEMENT	ITALIA LOT 24	\$ 726.11
52532000665	75	1	NICK PERROTTA FL TRUST	ITALIA LOT 25	\$ 726.11
52532000681	75	1	TENCZA, MARINA=& DARIUS	ITALIA LOT 26	\$ 726.11
52532000704	75	1	M H AMLANI REV LIV TRUST	ITALIA LOT 27	\$ 726.11
52532000720	75	1	SHARKEY, TERENCE=& LINDA	ITALIA LOT 28	\$ 726.11
52532000746	75	1	REDDICK, DON	ITALIA LOT 29	\$ 726.11
52532000762	75	1	LYNCH, SCOTT R=& DIANE	ITALIA LOT 30	\$ 726.11
52532000788	75	1	MCPHAIL, ERIC=& JENNA	ITALIA LOT 31	\$ 726.11
52532000801	75	1	MOHACSI, GEORGE	ITALIA LOT 32	\$ 726.11
52532000827	75	1	MELIE, MICHAEL D=& MARGARET T	ITALIA LOT 33	\$ 726.11
52532000843	75	1	OSGANIAN, BRIAN=& JOAN	ITALIA LOT 34	\$ 726.11
52532000869	75	1	RAUCH, GREGORY=& CHERYL	ITALIA LOT 35	\$ 726.11
52532000885	75	1	EDWARD H BERGAUER LIV TRUST	ITALIA LOT 36	\$ 726.11
52532000908	75	1	MACDONALD FAMILY TRUST	ITALIA LOT 37	\$ 726.11
52532000924	75	1	MCARDLE JR, DONALD L	ITALIA LOT 38	\$ 726.11
52532000940	75	1	CALLAHAN, MAURICE E	ITALIA LOT 39	\$ 726.11
52532000966	75	1	BULGIER, EARL C=& DEBRA K	ITALIA LOT 40	\$ 726.11
52532000982	75	1	SEDOR, DENNIS P=& MICHELE L	ITALIA LOT 41	\$ 726.11
52532001004	75	1	STOCK, JOHN=& REBECCA	ITALIA LOT 42	\$ 726.11
55751000029	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT C-1	\$ -
55751000045	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT C-2	\$ -
55751000061	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT C-3	\$ -
55751000087	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT C-4	\$ -
55751000100	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT C-5	\$ -
55751000126	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT C-6	\$ -
55751000142	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT C-7	\$ -
55751000663	Z - Common	0	LENNAR HOMES LLC	LIPARI-PONZIANE TRACT FD-2,	\$ -
55751002108	Z - Common	0	TREVISO BAY GOLF CLUB INC	LIPARI-PONZIANE TRACT GC-1,	\$ -
55751002111	Z - Common	0	LENNAR HOMES LLC	LIPARI-PONZIANE A PORTION OF	\$ -
55751002124	Z - Common	0	TREVISO BAY GOLF CLUB INC	LIPARI-PONZIANE TRACT GC-2	\$ -
55751002137	Z - Common	0	WENTWORTH ESTATES COMMUNITY	LIPARI-PONZIANE	\$ -
55751002140	Z - Common	0	WENTWORTH ESTATES	LIPARI-PONZIANE TRACT GC-3	\$ -
55751002153	Z - Common	0	WENTWORTH ESTATES COMMUNITY	LIPARI-PONZIANE A PORTION OF	\$ -

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
55751002179	Golf Course	0	LENNAR HOMES LLC	LIPARI-PONZIANE THE PORTION OF	\$ -
55751002205	Z - Common	0	WENTWORTH ESTATES COMMUNITY	LIPARI-PONZIANE TRACT L-1	\$ -
55751002221	Z - Common	0	WENTWORTH ESTATES COMMUNITY	LIPARI-PONZIANE TRACT L-2	\$ -
55751002247	Z - Common	0	WENTWORTH ESTATES COMMUNITY	LIPARI-PONZIANE TRACT L-3	\$ -
55751002263	Z - Common	0	WENTWORTH ESTATES COMMUNITY	LIPARI-PONZIANE TRACT L-4	\$ -
55751002289	Z - Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE TRACT P-1	\$ -
55751002302	Z - Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE TRACT P-2	\$ -
55751002328	Z - Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE TRACT P-3	\$ -
55751002344	Z - Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE TRACT P-4	\$ -
55751002360	Z - Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE TRACT P-5	\$ -
55751002386	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT R-2	\$ -
55751002409	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT R-8	\$ -
55751002425	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT R-9	\$ -
55751002441	100	1	RUS, ARLYN D=& CLAIRE L	LIPARI-PONZIANE BLOCK A LOT 1	\$ 726.11
55751002467	100	1	GAINEY, HARVEY N=& ANNIE E	LIPARI-PONZIANE BLOCK A LOT 2	\$ 726.11
55751002483	100	1	SYMOM, JOHN W	LIPARI-PONZIANE BLOCK A LOT 3	\$ 726.11
55751002506	100	1	JOHN J HORAN REV TRUST	LIPARI-PONZIANE BLOCK A LOT 4	\$ 726.11
55751002522	100	1	JOHN B GARDNER TRUST	LIPARI-PONZIANE BLOCK A LOT 5	\$ 726.11
55751002548	100	1	DAVIDSON, ALAN R=& SALLY G	LIPARI-PONZIANE BLOCK A LOT 6	\$ 726.11
55751002564	100	1	WILSON, WILLIAM R	LIPARI-PONZIANE BLOCK A LOT 7	\$ 726.11
55751002580	100	1	ANDREA L MOSEY REV LIV TRUST	LIPARI-PONZIANE BLOCK A LOT 8	\$ 726.11
55751002603	100	1	VIOLA, EDWARD J=& SUSAN E	LIPARI-PONZIANE BLOCK A LOT 9	\$ 726.11
55751002629	100	1	NICHOLAS J BOLOGNA TRUST	LIPARI-PONZIANE BLOCK A LOT 10	\$ 726.11
55751002645	100	1	WILLIAM C MCGARRY & VALERIE J	LIPARI-PONZIANE BLOCK A LOT 11	\$ 726.11
55751002661	100	1	BRYANT, RICHARD K	LIPARI-PONZIANE BLOCK A LOT 12	\$ 726.11
55751002687	100	1	SIEVERT, JAMES	LIPARI-PONZIANE BLOCK A LOT 13	\$ 726.11
55751002700	100	1	MURAWSKI JR, MARTIN=& KARIE	LIPARI-PONZIANE BLOCK A LOT 14	\$ 726.11
55751002726	100	1	PROVANCE, WILLIAM J=& MARY K	LIPARI-PONZIANE BLOCK A LOT 15	\$ 726.11
55751002742	100	1	MCALLISTER, SHAWN PATRICK	LIPARI-PONZIANE BLOCK A LOT 16	\$ 726.11
55751002768	100	1	GIBAS, JOHN JOSEPH	LIPARI-PONZIANE BLOCK A LOT 17	\$ 726.11
55751002784	100	1	DIMARZO, PAUL M=& AUDREY P	LIPARI-PONZIANE BLOCK A LOT 18	\$ 726.11
55751002807	100	1	JOHN C CASSIDY JR REV TRUST	LIPARI-PONZIANE BLOCK A LOT 19	\$ 726.11
55751002823	100	1	MCMAHON, BRIAN J=& AMY L	LIPARI-PONZIANE BLOCK A LOT 20	\$ 726.11
55751002849	100	1	DONOVAN, JAMES R=& TAMARA	LIPARI-PONZIANE BLOCK A LOT 21	\$ 726.11
55751002865	100	1	HILL FAMILY REVOCABLE TRUST	LIPARI-PONZIANE BLOCK A LOT 22	\$ 726.11
55751002881	100	1	LEBEC, DAVID RICHARD	LIPARI-PONZIANE BLOCK A LOT 23	\$ 726.11
55751002904	100	1	STACK FL RESIDENCE TRUST	LIPARI-PONZIANE BLOCK A LOT 24	\$ 726.11
55751002920	100	1	TIMOTHY P ALLEN TRUST NO 1	LIPARI-PONZIANE BLOCK A LOT 25	\$ 726.11
55751002946	100	1	BETHLENFALVY, PETER	LIPARI-PONZIANE BLOCK A LOT 26	\$ 726.11
55751002962	100	1	EDWARD H GRAFT TRUST	LIPARI-PONZIANE BLOCK A LOT 27	\$ 726.11
55751002988	100	1	TANSEY, CHRISTOPHER S	LIPARI-PONZIANE BLOCK A LOT 28	\$ 726.11
55751003725	Z - Common	0	VERANDA I AT TREVISO BAY	LIPARI-PONZIANE FD-3 REPLAT	\$ -
55751003783	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE FD-3 REPLAT	\$ -
55751003929	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE	\$ -
55751003932	Z - Common	0	TREVISO BAY GOLF CLUB INC	LIPARI-PONZIANE	\$ -
55751004025	Z - Common	0	TREVISO BAY GOLF CLUB INC	LIPARI-PONZIANE TRACT GC-5	\$ -
55751004122	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE REPLAT	\$ -
55751004148	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE REPLAT	\$ -
55751004164	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE REPLAT	\$ -
55751004180	Z - Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE REPLAT	\$ -
55751004203	Z - Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE REPLAT	\$ -
55751005215	Z-COMMON	0	TERRACE I AT TREVISO BAY	LIPARI-PONZIANE REPLAT	\$ -
55751005228	Z-COMMON	0	TERRACE II AT TREVISO BAY	LIPARI-PONZIANE REPLAT	\$ -
55751005231	Z-COMMON	0	TERRACE III AT TREVISO BAY	LIPARI-PONZIANE REPLAT	\$ -

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
55751005325	Z - Common	0	TREVISO BAY PROPERTY OWNERS	LIPARI-PONZIANE TRACT FD-2	\$ -
55751005354	Z-Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE TRACT FD-2	\$ -
55751005367	Z - Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE TRACT FD-2	\$ -
55751005383	Z - Common	0	WENTWORTH ESTATES CDD	LIPARI-PONZIANE TRACT FD-2	\$ -
55751005406	Z - Common	0	WENTWORTH ESTATES LLC	LIPARI-PONZIANE TRACT FD-2	\$ -
55751005419	Z-COMMON	0	TERRACE IV AT TREVISO BAY	LIPARI-PONZIANE, A PORTION OF	\$ -
55751005422	Z-COMMON	0	TERRACE V AT TREVISO BAY	LIPARI-PONZIANE, PORTION OF TR	\$ -
55751005435	Z-COMMON	0	TERRACE VI AT TREVISO BAY	LIPARI PONZIANE, PORTION OF TR	\$ -
55751005464	75	1	COLEMAN, ROYCE D=& ROBERTA E	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005480	75	1	SUSAN L ARNBERG TRUST	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005503	75	1	DESILVA FAMILY TRUST	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005529	75	1	DANIEL TROMBLEY 2006 REV TRUST	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005545	75	1	LOVELESS FAMILY LLC	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005561	75	1	REILLY, ANDREW J=& DENISE D	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005587	75	1	MSNL LLC	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005600	75	1	ADAM M SHORT TRUST	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005626	75	1	DUCHARME, BRIAN=& TERESA	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005642	75	1	COPELAND, THOMAS G=& DIANE P	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005668	75	1	NORRIS, RICKY LEE	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005684	75	1	SORGI, DEBORAH B	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005707	75	1	SMITH, DANIEL L	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005723	75	1	PERILLO, MARY ELLEN	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005749	75	1	HAROLD, MELANIE S	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005765	75	1	JAMES C FISHER TRUST	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005781	75	1	SHARON L BOWMAN TRUST	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005804	75	1	NUDI, PETER JOSEPH	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005820	75	1	LEFEVRE, CHRISTOPHER J	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005846	75	1	MINAMYER, DEAN A=& DARLA	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005862	75	1	PETERS, GUILLAUME A=& ELAINE M	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005888	75	1	LATHAM, TONY WILLIAM	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005901	75	1	HOFMANN FAMILY LIVING TRUST	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005927	75	1	CANNON, JAMES C=& PATRICE P	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005943	75	1	ROFORTH-SMITH, DAVID F	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005969	75	1	MARK & KAREN MANNEBACH TRUST	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751005985	75	1	MILLER, KENNETH E=& TRACEY	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751006007	75	1	DELATE PROPERTY S A	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751006023	75	1	CORSO BELLO 9902 LLC	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751006049	75	1	O'DELL, SHANE	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751006065	75	1	PAGE, CYNTHIA C	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751006081	75	1	DIMOUE FLORIDA TRUST	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751006104	75	1	LUMPI, ANDREAS	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
55751006120	75	1	TAVBRO LLC	LIPARI-PONZIANE BLOCK B REPLAT	\$ 726.11
60581265029	Z COMMON	0	TREVISO BAY PROPERTY OWNERS	MONTIANO	\$ -
60581265045	Z COMMON	0	TREVISO BAY PROPERTY OWNERS	MONTIANO	\$ -
60581265061	Z COMMON	0	WENTWORTH ESTATES CDD	MONTIANO	\$ -
60581265087	Z COMMON	0	WENTWORTH ESTATES CDD	MONTIANO	\$ -
60581265100	Z COMMON	0	TREVISO BAY PROPERTY OWNERS	MONTIANO	\$ -
60581265126	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265142	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265168	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265184	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265207	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265223	75	1	LACEY TRUST	MONTIANO	\$ 726.11
60581265249	75	1	NTB LLC	MONTIANO	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
60581265265	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265281	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265304	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265320	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265346	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265362	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265388	75	1	FORDHAM, KYMBERLY ALEXANDRA	MONTIANO	\$ 726.11
60581265401	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265427	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265443	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265469	75	1	SIMS JR, GARY R	MONTIANO	\$ 726.11
60581265485	75	1	KRILE, JEFFREY A=& MICHELLE L	MONTIANO	\$ 726.11
60581265508	75	1	PAYNE-FALLON LIVING TRUST	MONTIANO	\$ 726.11
60581265524	75	1	ALAN M WEBB TRUST	MONTIANO	\$ 726.11
60581265540	75	1	STUART MEST REVOCABLE TRUST	MONTIANO	\$ 726.11
60581265566	75	1	THOMAS J NOLL TRUST	MONTIANO	\$ 726.11
60581265582	75	1	HOWARD E OBRIEN REVOC TRUST	MONTIANO	\$ 726.11
60581265605	75	1	9857 MONTIANO LLC	MONTIANO	\$ 726.11
60581265621	75	1	BETE, MATTHEW=& DAWN	MONTIANO	\$ 726.11
60581265647	75	1	HOWARTH, ROBERT=& PAMELA	MONTIANO	\$ 726.11
60581265663	75	1	FARRELL L JACKSON REV TRUST	MONTIANO	\$ 726.11
60581265689	75	1	BALBONI, MICHAEL S=& JAMIE T	MONTIANO	\$ 726.11
60581265702	75	1	NUTTALL, GARY K=& BRENDA A	MONTIANO	\$ 726.11
60581265728	75	1	ROSE, GEORGE P	MONTIANO	\$ 726.11
60581265744	75	1	FITZGERALD, CYNTHIA D	MONTIANO	\$ 726.11
60581265760	75	1	DIDADO, GERARD=& RHONDA	MONTIANO	\$ 726.11
60581265786	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265809	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265825	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265841	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265867	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265883	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265906	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265922	75	1	STEPHENS, DONALD=& LORI	MONTIANO	\$ 726.11
60581265948	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265964	75	1	NTB LLC	MONTIANO	\$ 726.11
60581265980	75	1	NTB LLC	MONTIANO	\$ 726.11
60581266002	75	1	NTB LLC	MONTIANO	\$ 726.11
60581266028	75	1	VAN HAEREN NAPLES TRUST	MONTIANO	\$ 726.11
60581266044	75	1	BREWER, PINCKNEY W=& SUSAN J	MONTIANO	\$ 726.11
60581266060	75	1	REED, LINDA	MONTIANO	\$ 726.11
60581266086	75	1	CLEARY JR, EDWIN P=& SANDRA L	MONTIANO	\$ 726.11
60581266109	75	1	NTB LLC	MONTIANO	\$ 726.11
60581266125	75	1	NTB LLC	MONTIANO	\$ 726.11
60581266141	75	1	NTB LLC	MONTIANO	\$ 726.11
60581266167	75	1	MONTIANO LLC	MONTIANO	\$ 726.11
60581266183	75	1	NTB LLC	MONTIANO	\$ 726.11
60581266206	75	1	ROBERT STEPHEN & JILL RENEE	MONTIANO	\$ 726.11
66748000021	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT C-1	\$ -
66748000047	Z - Common	0	LENNAR HOMES LLC	PIACERE-PAVIA TRACT C-2 LESS	\$ -
66748000050	Z - Common	0	FLORIDA POWER & LIGHT COMPANY	PIACERE-PAVIA THAT PORTION OF	\$ -
66748000063	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT C-2	\$ -
66748000102	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT C-4	\$ -
66748000128	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT C-5	\$ -

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
66748000144	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT C-6	\$ -
66748000160	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT C-7	\$ -
66748000186	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT C-8	\$ -
66748000209	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT C-9	\$ -
66748000225	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT C-10	\$ -
66748000241	Various	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT FD-1,	\$ -
66748001240	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT FD-3	\$ -
66748001745	Z - Common	0	WENTWORTH ESTATES COMMUNITY	PIACERE-PAVIA TRACT L-1	\$ -
66748001761	Z - Common	0	WENTWORTH ESTATES COMMUNITY	PIACERE-PAVIA TRACT L-2	\$ -
66748001787	Z - Common	0	WENTWORTH ESTATES COMMUNITY	PIACERE-PAVIA TRACT L-3	\$ -
66748001800	Z - Common	0	WENTWORTH ESTATES COMMUNITY	PIACERE-PAVIA TRACT L-4	\$ -
66748001884	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-3	\$ -
66748001907	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-4	\$ -
66748001923	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-5	\$ -
66748001949	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-6	\$ -
66748001965	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-7	\$ -
66748001981	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-8	\$ -
66748002003	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-9	\$ -
66748002029	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-10	\$ -
66748002045	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-11	\$ -
66748002061	Z - Common	0	WENTWORTH ESTATES CDD	PIACERE-PAVIA TRACT P-12	\$ -
66748002087	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT R-2	\$ -
66748002100	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT R-7	\$ -
66748002126	Z - Common	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT R-10	\$ -
66748002142	50	1	HUGHES, DAVID R=& KARLYN A	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002168	50	1	CAROLYN J HORDICHUK TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002184	50	1	SPROUL, PAULETTE SUZANNE	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002207	50	1	ARMBRUSTER, MICHAEL J	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002223	50	1	JAMES A VANDER POL REVOC TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002249	50	1	GASWORTH, ANDREW T	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002265	50	1	JEMSBY, BJOERN=& SUZANNA	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002281	50	1	KBO HOLDINGS LLC	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002304	50	1	KELLEY, KEVIN=& THERESA R	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002320	50	1	DISALVO, FRANK J=& SUSAN A	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002346	50	1	FANDETTI, NICHOLAS I	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002362	50	1	STROHM, THOMAS G	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002388	50	1	MURPHY, SEAN P=& MARGARET K	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002401	50	1	PLEWES, JANET M=& STEVEN A	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002427	50	1	CARTER, DAN L=& SUSAN M	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002443	50	1	MACLEOD, ROBERT	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002469	50	1	PATTERSON, ROBERT S=& DIANA L	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002485	50	1	MAHMOUD, SAMY	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002508	50	1	CAROLE B WILLIAMS IRREV TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002524	50	1	DIVINAGRACIA, THOMAS V	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002540	50	1	GARY A BRUNET TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002566	50	1	LUGO, RICHARD O=& KAREN MARIE	PIACERE-PAVIA BLOCK A	\$ 726.11
66748002582	50	1	HETHERINGTON SUNSHINE TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002605	50	1	GILDAY, JOHN W=& VALERIE M	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002621	50	1	DESMARAIS REVOCABLE TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002647	50	1	AXELROD, STUART F=& THERESA A	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002663	50	1	MAGUIRE, CHRISTOPHER	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002689	50	1	STRAUSS, RALF	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002702	50	1	MUNRO, IAN R=& VALERIE J	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002728	50	1	LAWTON, BRIAN=& RUSTALYN	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
66748002744	50	1	KENNETH J BELLA VIA LIV TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002760	50	1	EDWARD & DEBORAH KELLY TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002786	50	1	LANDRY, MICHAEL ADRIEN	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002809	50	1	BELL, DONALD E=& ANNE	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002825	50	1	SHARUN, MICHAEL=& CATHERINE A	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002841	50	1	SEAL, DAVID M=& LYNN A	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002867	50	1	TIMCHUK, ALLAN	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002883	50	1	DONOVAN FAMILY NOMINEE TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002906	50	1	COSTA U S TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002922	50	1	RIGNEL, RAYMOND R	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002948	50	1	TODD, FORREST DICKSON	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002964	50	1	OTOOLE, KATHLEEN M	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748002980	50	1	GALLAGHER, STEPHEN=& LAURA J	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748003002	50	1	SABOURIN, BRIAN W=& CYNTHIA L	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748003028	50	1	SHEAN & KIMBERLEY DILLON TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748003044	50	1	BELL, BARBARA BROWNING	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748003060	50	1	KENNEDY, SHAUN P	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748003086	50	1	MARTIN, ROBERT S=& CARA L	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748003109	50	1	RUCH, CHARLES S=& BONNIE F	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748003125	50	1	JEFFERSON, SCOTT=& JENNIFER	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748003141	50	1	DAVID WOJCIK REV TRUST	PIACERE-PAVIA BLOCK A PIACERE	\$ 726.11
66748003167	150	1	MARCOU, DEREK	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003183	150	1	KEITH M JEREB TRUST	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003206	150	1	RUSSO, MARY JO A	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003222	150	1	KIRKPATRICK, WILLIAM H	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003248	150	1	HOWARD, MARY BATTISTA	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003264	150	1	BAKER, KEVIN M=& JULIE A	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003280	150	1	REILLY, BRIAN P	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003303	150	1	MEEHAN, MICHAEL J=& AGNESE J	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003329	150	1	MAX ROCK WAL LLC	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003345	150	1	FALCO, GARY=& LORETTA	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748003361	150	1	NEWCOMB, JOSEPH	PIACERE-PAVIA BLOCK B PAVIA	\$ 726.11
66748004027	Lifestyle Center	0	TREVISO BAY PROPERTY OWNERS	PIACERE-PAVIA TRACT FD-2	\$ -
68158000020	Z-Common	0	TREVISO BAY PROPERTY OWNERS	PONTE RIALTO	\$ -
68158000046	Z-Common	0	TREVISO BAY PROPERTY OWNERS	PONTE RIALTO	\$ -
68158000062	Z-Common	0	TREVISO BAY PROPERTY OWNERS	PONTE RIALTO	\$ -
68158000101	Z-Common	0	TREVISO BAY PROPERTY OWNERS	PONTE RIALTO	\$ -
68158000127	Z - COMMON	0	LENNAR HOMES LLC	PONTE RIALTO	\$ -
68158000622	Z - COMMON	0	TREVISO BAY PROPERTY OWNERS	PONTE RIALTO	\$ -
68158001003	Z - Common	0	VERANDA II AT TREVISO BAY	PONTE RIALTO	\$ -
68158001511	STREET	0	TREVISO BAY PROPERTY OWNERS	POINTE RIALTO	\$ -
68158001524	Z-COMMON	0	TERRACE VII AT TREVISO BAY	POINTE RIALTO	\$ -
68158001537	Z-COMMON	0	TERRACE VIII AT TREVISO BAY	POINTE RIALTO	\$ -
68158001540	Z-COMMON	0	TERRACE IX AT TREVISO BAY	POINTE RIALTO	\$ -
68158001553	Z-COMMON	0	TERRACE X AT TREVISO BAY	POINTE RIALTO	\$ -
68158002125	Z-Common	0	WENTWORTH ESTATES CDD	PONTE RIALTO	\$ -
68158002141	Z-Common	0	WENTWORTH ESTATES CDD	PONTE RIALTO	\$ -
68158002167	Z-Common	0	WENTWORTH ESTATES CDD	PONTE RIALTO	\$ -
68158002183	Z-Common	0	WENTWORTH ESTATES CDD	PONTE RIALTO	\$ -
68158002206	Z-Common	0	WENTWORTH ESTATES CDD	PONTE RIALTO	\$ -
68158002222	Z-Common	0	WENTWORTH ESTATES CDD	PONTE RIALTO	\$ -
68158002248	Z-Common	0	WENTWORTH ESTATES CDD	PONTE RIALTO	\$ -
68158002264	Z-Common	0	TREVISO BAY PROPERTY OWNERS	PONTE RIALTO	\$ -
68158002280	50	1	KARAGIANIS, JAMES A=& JULIA P	PONTE RIALTO	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
68158002303	50	1	BUCK, ARTHUR	PONTE RIALTO	\$ 726.11
68158002329	50	1	MILAN, GARY A=& JUDITH A	PONTE RIALTO	\$ 726.11
68158002345	50	1	BUNKER, LEROY=& JUDITH	PONTE RIALTO	\$ 726.11
68158002361	50	1	MARIA KALANT REVOCABLE TRUST	PONTE RIALTO	\$ 726.11
68158002387	50	1	KALEMBA, RONALD=& JOHANNA	PONTE RIALTO	\$ 726.11
68158002400	50	1	GOLF SWING TRUST	PONTE RIALTO	\$ 726.11
68158002426	50	1	DWYER, JAMES=& KAREN	PONTE RIALTO	\$ 726.11
68158002442	50	1	ONEILL, MICHAEL=& LINDA	PONTE RIALTO	\$ 726.11
68158002468	50	1	GULOTTA, ERNESTO F	PONTE RIALTO	\$ 726.11
68158002484	50	1	REDA, GERARD=& SUZANNE E	PONTE RIALTO	\$ 726.11
68158002507	50	1	JOHN M & BETH D STIMAC TRUST	PONTE RIALTO	\$ 726.11
68158002523	50	1	CARNEY, JOHN=& DIANE	PONTE RIALTO	\$ 726.11
68158002549	50	1	WILLIAMS, MARC=& DAWN	PONTE RIALTO	\$ 726.11
73640800024	Z - COMMON	0	TREVISO BAY PROPERTY OWNERS	SIRACUSA	\$ -
73640800040	Z - COMMON	0	TREVISO BAY PROPERTY OWNERS	SIRACUSA	\$ -
73640800066	Z - COMMON	0	TREVISO BAY PROPERTY OWNERS	SIRACUSA	\$ -
73640800082	Z - COMMON	0	TREVISO BAY PROPERTY OWNERS	SIRACUSA	\$ -
73640800105	75	1	BRAUNSTEIN, MICHAEL	SIRACUSA	\$ 726.11
73640800121	75	1	THOMAS H SNYDER REV TRUST	SIRACUSA	\$ 726.11
73640800147	75	1	BALDONI, JOHN=& MAUREEN	SIRACUSA	\$ 726.11
73640800163	75	1	HARRY & JUDY DIGNAZIO TRUST	SIRACUSA	\$ 726.11
73640800189	75	1	GUIDA FAMILY IRREVOCABLE TRUST	SIRACUSA	\$ 726.11
73640800202	75	1	SZYMANSKI, JOSEPH A	SIRACUSA	\$ 726.11
73640800228	75	1	DUFORT, MATTHEW G=& KATHLEEN T	SIRACUSA	\$ 726.11
73640800244	75	1	TRUE, MICHAEL J=& JUDITH A	SIRACUSA	\$ 726.11
73640800260	75	1	JOANNA E MASTRONARDO TRUST	SIRACUSA	\$ 726.11
73640800286	75	1	SOMERVILLE, GRANT A	SIRACUSA	\$ 726.11
73640800309	75	1	BETZWIESER, JAMES F=& LINDA J	SIRACUSA	\$ 726.11
73640800325	75	1	PERRY, JOHN DOUGLAS	SIRACUSA	\$ 726.11
73640800341	75	1	RONALD F BARRIAULT TRUST	SIRACUSA	\$ 726.11
73640800367	75	1	GREEDER FAMILY REVOCABLE TRUST	SIRACUSA	\$ 726.11
73640800383	75	1	JAMES MENIATES JR 2019 TRUST	SIRACUSA	\$ 726.11
73640800406	75	1	FERRARO JR, HENRY A	SIRACUSA	\$ 726.11
73640800422	75	1	GERVASIO, JOSEPH	SIRACUSA	\$ 726.11
73640800448	75	1	RNJ TRUST	SIRACUSA	\$ 726.11
73640800464	75	1	GILGORE, GARY S=& BETH E	SIRACUSA	\$ 726.11
76548000020	4 Story MF	1	FAAD2 LLC	TERRACE I AT TREVISO BAY	\$ 726.11
76548000046	4 Story MF	1	PIERCE, CHRISTOPHER R	TERRACE I AT TREVISO BAY	\$ 726.11
76548000062	4 Story MF	1	BRENNAN JR, DANIEL J	TERRACE I AT TREVISO BAY	\$ 726.11
76548000088	4 Story MF	1	KENNEDY, SHAUN	TERRACE I AT TREVISO BAY	\$ 726.11
76548000101	4 Story MF	1	TAYLOR, ANITA B=& TIMOTHY A	TERRACE I AT TREVISO BAY	\$ 726.11
76548000127	4 Story MF	1	MICHAELS, DANIEL LAWRENCE	TERRACE I AT TREVISO BAY	\$ 726.11
76548000143	4 Story MF	1	PROGRESSIVE PROCESSING	TERRACE I AT TREVISO BAY	\$ 726.11
76548000169	4 Story MF	1	ACQUA LLC	TERRACE I AT TREVISO BAY	\$ 726.11
76548000185	4 Story MF	1	HELMER, MICHAEL KIRK	TERRACE I AT TREVISO BAY	\$ 726.11
76548000208	4 Story MF	1	SMITH, LANE M	TERRACE I AT TREVISO BAY	\$ 726.11
76548000224	4 Story MF	1	MACCIONE, RICHARD=& JOANNE	TERRACE I AT TREVISO BAY	\$ 726.11
76548000240	4 Story MF	1	HALBERT, DOUGLAS	TERRACE I AT TREVISO BAY	\$ 726.11
76548000266	4 Story MF	1	CARUTH, DON=& PAM	TERRACE I AT TREVISO BAY	\$ 726.11
76548000282	4 Story MF	1	WHITEHEAD, DOUG	TERRACE I AT TREVISO BAY	\$ 726.11
76548000305	4 Story MF	1	EMERSON, JAMES R	TERRACE I AT TREVISO BAY	\$ 726.11
76548000321	4 Story MF	1	BENDER, TERENCE J=& MARYBETH	TERRACE I AT TREVISO BAY	\$ 726.11
76548000347	4 Story MF	1	MARCHETTI, PAUL=& AIMEE	TERRACE I AT TREVISO BAY	\$ 726.11
76548000363	4 Story MF	1	STIVALETTI, MICHAEL	TERRACE I AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
76548000389	4 Story MF	1	SISTLA, GIETA LESLIE	TERRACE I AT TREVISO BAY	\$ 726.11
76548000402	4 Story MF	1	KOREN R FORQUER LIV TRUST	TERRACE I AT TREVISO BAY	\$ 726.11
76548000428	4 Story MF	1	FUCHS, JOHN J	TERRACE I AT TREVISO BAY	\$ 726.11
76548000444	4 Story MF	1	COLLINS, DANIEL F=& ROBIN A	TERRACE I AT TREVISO BAY	\$ 726.11
76548000460	4 Story MF	1	MACCARTNEY, PAUL	TERRACE I AT TREVISO BAY	\$ 726.11
76548000486	4 Story MF	1	KATHLEEN E LAPLANTE TRUST	TERRACE I AT TREVISO BAY	\$ 726.11
76548000509	4 Story MF	1	SEISS, JENNY E	TERRACE I AT TREVISO BAY	\$ 726.11
76548000525	4 Story MF	1	LUCKE, GEORGE C=& HELEN R	TERRACE I AT TREVISO BAY	\$ 726.11
76548000541	4 Story MF	1	K & J REVOCABLE TRUST	TERRACE I AT TREVISO BAY	\$ 726.11
76548000567	4 Story MF	1	MANTEY, MICHAEL J	TERRACE I AT TREVISO BAY	\$ 726.11
76548000583	4 Story MF	1	BOGEN, SUSAN L=& GARY G	TERRACE I AT TREVISO BAY	\$ 726.11
76548000606	4 Story MF	1	STRAND, KIRK TAYLOR=& VICKI JO	TERRACE I AT TREVISO BAY	\$ 726.11
76548000622	4 Story MF	1	376 N 3RD LLC	TERRACE I AT TREVISO BAY	\$ 726.11
76548000648	4 Story MF	1	PECK, JAN	TERRACE I AT TREVISO BAY	\$ 726.11
76548000664	4 Story MF	1	SEISS, ANTON	TERRACE I AT TREVISO BAY	\$ 726.11
76548000680	4 Story MF	1	HUNTER, JAMES E=& SHEILA R	TERRACE I AT TREVISO BAY	\$ 726.11
76548000703	4 Story MF	1	JOSEPH E PIRRONE LIVING TRUST	TERRACE I AT TREVISO BAY	\$ 726.11
76548000729	4 Story MF	1	SUSI, SALOMON=& LISA E S	TERRACE I AT TREVISO BAY	\$ 726.11
76548000745	4 Story MF	1	BERNARD, BRUCE W=& TONY E	TERRACE I AT TREVISO BAY	\$ 726.11
76548000761	4 Story MF	1	MURDOCH, JAMES K=& KATHLEEN A	TERRACE I AT TREVISO BAY	\$ 726.11
76548000787	4 Story MF	1	MONAGHAN, MICHAEL P=& JANET M	TERRACE I AT TREVISO BAY	\$ 726.11
76548000800	4 Story MF	1	BRIAN A GUINARD LIV TRUST	TERRACE I AT TREVISO BAY	\$ 726.11
76548000826	4 Story MF	1	THERESE M HOOPER REV TRUST	TERRACE I AT TREVISO BAY	\$ 726.11
76548000842	4 Story MF	1	STERN, SAMUEL	TERRACE I AT TREVISO BAY	\$ 726.11
76548000868	4 Story MF	1	GUIDISH, JEROME J	TERRACE I AT TREVISO BAY	\$ 726.11
76548000884	4 Story MF	1	KAROW, JUERGEN=& ANDREA	TERRACE I AT TREVISO BAY	\$ 726.11
76548000907	4 Story MF	1	BANKSIA LLC	TERRACE I AT TREVISO BAY	\$ 726.11
76548000923	4 Story MF	1	DIGIOVANNI, DOMINIC A	TERRACE I AT TREVISO BAY	\$ 726.11
76548000949	4 Story MF	1	JIRGENS, JOHN E=& SUSAN M	TERRACE I AT TREVISO BAY	\$ 726.11
76548000965	4 Story MF	1	PERRY, JOHN DOUGLAS	TERRACE I AT TREVISO BAY	\$ 726.11
76548000981	4 Story MF	1	KHOURI, MATTHEW J=& LEAH M	TERRACE I AT TREVISO BAY	\$ 726.11
76548001003	4 Story MF	1	TIGHE, TIMOTHY A	TERRACE I AT TREVISO BAY	\$ 726.11
76548001029	4 Story MF	1	AVELLINI, ROBERT H	TERRACE I AT TREVISO BAY	\$ 726.11
76548001045	4 Story MF	1	GED PROPERTIES INC	TERRACE I AT TREVISO BAY	\$ 726.11
76548001061	4 Story MF	1	LIAGHAT, REZA G	TERRACE I AT TREVISO BAY	\$ 726.11
76548001087	4 Story MF	1	JOHN LEVON TOURYAN REV TRUST	TERRACE I AT TREVISO BAY	\$ 726.11
76548001100	4 Story MF	1	DAUFENBACH, THOMAS=& MARTHA	TERRACE I AT TREVISO BAY	\$ 726.11
76548001126	4 Story MF	1	ERICKSON, CHARLES P=& DIANE L	TERRACE I AT TREVISO BAY	\$ 726.11
76548001142	4 Story MF	1	MAIONE, SABINO C	TERRACE I AT TREVISO BAY	\$ 726.11
76548001168	4 Story MF	1	PENSCO TRUST COMPANY LLC	TERRACE I AT TREVISO BAY	\$ 726.11
76548001184	4 Story MF	1	DAVID L LAROSE REV TRUST	TERRACE I AT TREVISO BAY	\$ 726.11
76548001207	4 Story MF	1	SAPHIA, JOSEPH V=& GIANNA N	TERRACE I AT TREVISO BAY	\$ 726.11
76548003027	4 Story MF	1	ALLEN III, GEORGE H	TERRACE II AT TREVISO BAY	\$ 726.11
76548003043	4 Story MF	1	VERBOS, EDWARD A	TERRACE II AT TREVISO BAY	\$ 726.11
76548003069	4 Story MF	1	BRESLIN, MARTIN	TERRACE II AT TREVISO BAY	\$ 726.11
76548003085	4 Story MF	1	DONALD E VOGLER REV TRUST	TERRACE II AT TREVISO BAY	\$ 726.11
76548003108	4 Story MF	1	HAYNES, MICHAEL	TERRACE II AT TREVISO BAY	\$ 726.11
76548003124	4 Story MF	1	ROUPE, TIMOTHY C=& DONNA J	TERRACE II AT TREVISO BAY	\$ 726.11
76548003140	4 Story MF	1	HAMILTON, JEFFREY E	TERRACE II AT TREVISO BAY	\$ 726.11
76548003166	4 Story MF	1	MARCOU LAND TRUST	TERRACE II AT TREVISO BAY	\$ 726.11
76548003182	4 Story MF	1	RAGONE, LAWRENCE H	TERRACE II AT TREVISO BAY	\$ 726.11
76548003205	4 Story MF	1	CAMPBELL HOMES LLC	TERRACE II AT TREVISO BAY	\$ 726.11
76548003221	4 Story MF	1	KENNETH JARDIN LIV TRUST	TERRACE II AT TREVISO BAY	\$ 726.11
76548003247	4 Story MF	1	BURVENICH, FREDRICK P	TERRACE II AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
76548003263	4 Story MF	1	VOLENIK, KAREL	TERRACE II AT TREVISO BAY	\$ 726.11
76548003289	4 Story MF	1	GEGG, ROBERT=& JOAN	TERRACE II AT TREVISO BAY	\$ 726.11
76548003302	4 Story MF	1	DJ REALTY ASSOCIATES LLC	TERRACE II AT TREVISO BAY	\$ 726.11
76548003328	4 Story MF	1	RYAN, ROY F	TERRACE II AT TREVISO BAY	\$ 726.11
76548003344	4 Story MF	1	MELLO, GLENN G	TERRACE II AT TREVISO BAY	\$ 726.11
76548003360	4 Story MF	1	MCKINNEY, RYAN=& CHERYLENE	TERRACE II AT TREVISO BAY	\$ 726.11
76548003386	4 Story MF	1	ROEMER, DENNIS=& ANDREA	TERRACE II AT TREVISO BAY	\$ 726.11
76548003409	4 Story MF	1	MEREDITH, ANTHONY NOEL	TERRACE II AT TREVISO BAY	\$ 726.11
76548003425	4 Story MF	1	CHURCH, WALTER DWIGHT	TERRACE II AT TREVISO BAY	\$ 726.11
76548003441	4 Story MF	1	SURACE, VINCENT R	TERRACE II AT TREVISO BAY	\$ 726.11
76548003467	4 Story MF	1	GALLAGHER, PATRICK MALLOY	TERRACE II AT TREVISO BAY	\$ 726.11
76548003483	4 Story MF	1	MARCOU JR LAND TRUST	TERRACE II AT TREVISO BAY	\$ 726.11
76548003506	4 Story MF	1	CLANCY, JOHN	TERRACE II AT TREVISO BAY	\$ 726.11
76548003522	4 Story MF	1	TONIONI, RICHARD J	TERRACE II AT TREVISO BAY	\$ 726.11
76548003548	4 Story MF	1	BARBARA A SORVINO REV TRUST	TERRACE II AT TREVISO BAY	\$ 726.11
76548003564	4 Story MF	1	MARK L BOUCHER TRUST	TERRACE II AT TREVISO BAY	\$ 726.11
76548003580	4 Story MF	1	SHAW, RANDALL T=& DONNA L	TERRACE II AT TREVISO BAY	\$ 726.11
76548003603	4 Story MF	1	LANWER, HEINZ JURGEN	TERRACE II AT TREVISO BAY	\$ 726.11
76548003629	4 Story MF	1	MCGRATH, KEVIN DIXON	TERRACE II AT TREVISO BAY	\$ 726.11
76548003645	4 Story MF	1	MORAN, EILEEN	TERRACE II AT TREVISO BAY	\$ 726.11
76548003661	4 Story MF	1	MEISENHEIMER, KENNETH WAYNE	TERRACE II AT TREVISO BAY	\$ 726.11
76548003687	4 Story MF	1	DAVID H MARCOU JR LTD PTNP	TERRACE II AT TREVISO BAY	\$ 726.11
76548003700	4 Story MF	1	GRIST, MICHAEL P	TERRACE II AT TREVISO BAY	\$ 726.11
76548003726	4 Story MF	1	MENLO GROUP LLC	TERRACE II AT TREVISO BAY	\$ 726.11
76548003742	4 Story MF	1	DEVELOPERS OF OLD NAPLES INC	TERRACE II AT TREVISO BAY	\$ 726.11
76548003768	4 Story MF	1	WILSON, THOMAS	TERRACE II AT TREVISO BAY	\$ 726.11
76548003784	4 Story MF	1	GALEESE REALTY LLC	TERRACE II AT TREVISO BAY	\$ 726.11
76548003807	4 Story MF	1	KLEIN JR, EARL W=& SANDRA R	TERRACE II AT TREVISO BAY	\$ 726.11
76548003823	4 Story MF	1	GUARDINO JR, JOSEPH	TERRACE II AT TREVISO BAY	\$ 726.11
76548003849	4 Story MF	1	IORE, JAMES=& NATALIE	TERRACE II AT TREVISO BAY	\$ 726.11
76548003865	4 Story MF	1	WILLIAM E MCTIGUE LIVING TRUST	TERRACE II AT TREVISO BAY	\$ 726.11
76548003881	4 Story MF	1	LAINO, MARC V=& COLLEEN M	TERRACE II AT TREVISO BAY	\$ 726.11
76548003904	4 Story MF	1	HUGHES, ROBERT SCOTT	TERRACE II AT TREVISO BAY	\$ 726.11
76548003920	4 Story MF	1	SIEMBIEDA, EUGENE J	TERRACE II AT TREVISO BAY	\$ 726.11
76548003946	4 Story MF	1	BUMA, EDWARD G=& MARYANN	TERRACE II AT TREVISO BAY	\$ 726.11
76548003962	4 Story MF	1	GARCIA, ROBERT W=& BEVERLEY A	TERRACE II AT TREVISO BAY	\$ 726.11
76548003988	4 Story MF	1	DRAGO, ANTHONY	TERRACE II AT TREVISO BAY	\$ 726.11
76548004000	4 Story MF	1	REILLY, ANDREW J=& DENISE D	TERRACE II AT TREVISO BAY	\$ 726.11
76548004026	4 Story MF	1	COMPTON, KENNETH=& GAYLE	TERRACE II AT TREVISO BAY	\$ 726.11
76548004042	4 Story MF	1	FORD FAMILY TRUST	TERRACE II AT TREVISO BAY	\$ 726.11
76548004068	4 Story MF	1	DANIEL C & CAROL M DRESSSEL FAM	TERRACE II AT TREVISO BAY	\$ 726.11
76548004084	4 Story MF	1	MIRBACH, BRUCE E=& JULIE KANE	TERRACE II AT TREVISO BAY	\$ 726.11
76548004107	4 Story MF	1	CANCIAN, DAVID J	TERRACE II AT TREVISO BAY	\$ 726.11
76548004123	4 Story MF	1	VITI, FRANCO PIETRO	TERRACE II AT TREVISO BAY	\$ 726.11
76548004149	4 Story MF	1	BINGAMEN, ALLAN W=& MARILYN	TERRACE II AT TREVISO BAY	\$ 726.11
76548004165	4 Story MF	1	FORQUER, DAVID D=& KOREN R	TERRACE II AT TREVISO BAY	\$ 726.11
76548004181	4 Story MF	1	EISENHAUER, DAVID=& DEBBIE	TERRACE II AT TREVISO BAY	\$ 726.11
76548004204	4 Story MF	1	WALKER JR, BERNARD J	TERRACE II AT TREVISO BAY	\$ 726.11
76554000027	4 Story MF	1	ALLEN-JEREB HOLDINGS LLC FL	TERRACE III AT TREVISO BAY	\$ 726.11
76554000043	4 Story MF	1	KELLEY, RICHARD T=& GINA V	TERRACE III AT TREVISO BAY	\$ 726.11
76554000069	4 Story MF	1	ALEXIOU, PANAGIOTIS	TERRACE III AT TREVISO BAY	\$ 726.11
76554000085	4 Story MF	1	HEATON, JAMES M=& JANICE M	TERRACE III AT TREVISO BAY	\$ 726.11
76554000108	4 Story MF	1	KENNETH LOFFREDO REV TRUST	TERRACE III AT TREVISO BAY	\$ 726.11
76554000124	4 Story MF	1	DEMAIO, THOMAS F=& TANYA	TERRACE III AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
76554000140	4 Story MF	1	MENLO GROUP LLC	TERRACE III AT TREVISO BAY	\$ 726.11
76554000166	4 Story MF	1	PERROTT, ROBERT D	TERRACE III AT TREVISO BAY	\$ 726.11
76554000182	4 Story MF	1	LIU, YUN	TERRACE III AT TREVISO BAY	\$ 726.11
76554000205	4 Story MF	1	SCOTT, RANDAL A	TERRACE III AT TREVISO BAY	\$ 726.11
76554000221	4 Story MF	1	CONDON, MARK J	TERRACE III AT TREVISO BAY	\$ 726.11
76554000247	4 Story MF	1	VINT, MICHAEL A=& PEGGY D	TERRACE III AT TREVISO BAY	\$ 726.11
76554000263	4 Story MF	1	MORRISON, BRUCE=& LORI	TERRACE III AT TREVISO BAY	\$ 726.11
76554000289	4 Story MF	1	RAPPA, BENEDICT A=& MICHELE R	TERRACE III AT TREVISO BAY	\$ 726.11
76554000302	4 Story MF	1	MARCOU LAND TRUST	TERRACE III AT TREVISO BAY	\$ 726.11
76554000328	4 Story MF	1	MARCOU LAND TRUST	TERRACE III AT TREVISO BAY	\$ 726.11
76554000344	4 Story MF	1	SUN, WANGXIAOQI	TERRACE III AT TREVISO BAY	\$ 726.11
76554000360	4 Story MF	1	STAPLETON-REILLY, ANNE T	TERRACE III AT TREVISO BAY	\$ 726.11
76554000386	4 Story MF	1	MARTIN, ALEXANDRA	TERRACE III AT TREVISO BAY	\$ 726.11
76554000409	4 Story MF	1	INGRAUDO, GINO=& MARY LYNDA	TERRACE III AT TREVISO BAY	\$ 726.11
76554000425	4 Story MF	1	FETCHEN, EDWARD=& VALERIE	TERRACE III AT TREVISO BAY	\$ 726.11
76554000441	4 Story MF	1	JENKINS, STEVEN=& PANAGIOTA	TERRACE III AT TREVISO BAY	\$ 726.11
76554000467	4 Story MF	1	TSAVARIS, MICHAEL A=& MARY C	TERRACE III AT TREVISO BAY	\$ 726.11
76554000483	4 Story MF	1	EDWARDS, JOHN A=& DEBORAH E	TERRACE III AT TREVISO BAY	\$ 726.11
76554000506	4 Story MF	1	DODD, GRANT R	TERRACE III AT TREVISO BAY	\$ 726.11
76554000522	4 Story MF	1	FOSTER, THOMAS L	TERRACE III AT TREVISO BAY	\$ 726.11
76554000548	4 Story MF	1	MURRAY, AGNIESZKA	TERRACE III AT TREVISO BAY	\$ 726.11
76554000564	4 Story MF	1	JOANNA E MASTRONARDO REVOCABLE	TERRACE III AT TREVISO BAY	\$ 726.11
76554000580	4 Story MF	1	RICHARD S ROTHMAN TRUST	TERRACE III AT TREVISO BAY	\$ 726.11
76554000603	4 Story MF	1	PAWLEY, RAYMOND T=& LYNN M	TERRACE III AT TREVISO BAY	\$ 726.11
76554000629	4 Story MF	1	RAPTOPULOS, MICHAEL	TERRACE III AT TREVISO BAY	\$ 726.11
76554000645	4 Story MF	1	SATTERTHWAITE JR ET AL, ARTHUR	TERRACE III AT TREVISO BAY	\$ 726.11
76554000661	4 Story MF	1	RALPH & WANDA BILBREY LV TRUST	TERRACE III AT TREVISO BAY	\$ 726.11
76554000687	4 Story MF	1	FETCHEN, EDWARD=& VALERIE	TERRACE III AT TREVISO BAY	\$ 726.11
76554000700	4 Story MF	1	PRIMIANI, MARK	TERRACE III AT TREVISO BAY	\$ 726.11
76554000726	4 Story MF	1	FITZMAURICE, JACINTA	TERRACE III AT TREVISO BAY	\$ 726.11
76554000742	4 Story MF	1	EVANS, JOHN R	TERRACE III AT TREVISO BAY	\$ 726.11
76554000768	4 Story MF	1	DGR FAMILY INVESTMENTS LLC	TERRACE III AT TREVISO BAY	\$ 726.11
76554000784	4 Story MF	1	732354 ONTARIO INC	TERRACE III AT TREVISO BAY	\$ 726.11
76554000807	4 Story MF	1	BRUCE D TILLMAN REV TRUST	TERRACE III AT TREVISO BAY	\$ 726.11
76554000823	4 Story MF	1	CHEAIB, RACHID M=& RANDA G	TERRACE III AT TREVISO BAY	\$ 726.11
76554000849	4 Story MF	1	BHALLA FAMILY REV LIV TRUST	TERRACE III AT TREVISO BAY	\$ 726.11
76554000865	4 Story MF	1	MCKEOWN, PATRICK J=& JEAN A	TERRACE III AT TREVISO BAY	\$ 726.11
76554000881	4 Story MF	1	RIORDAN, KEVIN=& MARIE	TERRACE III AT TREVISO BAY	\$ 726.11
76554000904	4 Story MF	1	CACCHIONE, COSTANZO	TERRACE III AT TREVISO BAY	\$ 726.11
76554000920	4 Story MF	1	SYMANSKI, CHARLES WILLIAM	TERRACE III AT TREVISO BAY	\$ 726.11
76554000946	4 Story MF	1	FRIENDLY, STEVEN E	TERRACE III AT TREVISO BAY	\$ 726.11
76554000962	4 Story MF	1	MALLOY, PATRICIA A	TERRACE III AT TREVISO BAY	\$ 726.11
76554000988	4 Story MF	1	MCKEOWN, PATRICK J=& JEAN A	TERRACE III AT TREVISO BAY	\$ 726.11
76554001000	4 Story MF	1	TREVISO BAY LLC	TERRACE III AT TREVISO BAY	\$ 726.11
76554001026	4 Story MF	1	LUDWIG, KENNETH C=& SUSAN M	TERRACE III AT TREVISO BAY	\$ 726.11
76554001042	4 Story MF	1	LEAVELL, PARRY S=& KRISTINA R	TERRACE III AT TREVISO BAY	\$ 726.11
76554001068	4 Story MF	1	DHURJON, FIONA MADRE	TERRACE III AT TREVISO BAY	\$ 726.11
76554001084	4 Story MF	1	NORTON, PETER K	TERRACE III AT TREVISO BAY	\$ 726.11
76554001107	4 Story MF	1	DERY, MICHAEL G	TERRACE III AT TREVISO BAY	\$ 726.11
76554001123	4 Story MF	1	TORTUGA PROPERTIES LLC	TERRACE III AT TREVISO BAY	\$ 726.11
76554001149	4 Story MF	1	HAUER, ANGELA L	TERRACE III AT TREVISO BAY	\$ 726.11
76554001165	4 Story MF	1	PATEL, KAMLESHKUMAR	TERRACE III AT TREVISO BAY	\$ 726.11
76554001181	4 Story MF	1	PATRICK K CRIMMINS FAM TRUST	TERRACE III AT TREVISO BAY	\$ 726.11
76554001204	4 Story MF	1	WALL FAMILY TRUST	TERRACE III AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
76554001628	4 Story MF	1	JORDAN, THOMAS J=& MARGARET A	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001644	4 Story MF	1	LANE, BRIAN C	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001660	4 Story MF	1	LARISON, JEROME D=& LISA	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001686	4 Story MF	1	JJ RENTALS LLC	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001709	4 Story MF	1	TOOLE, JOHN E	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001725	4 Story MF	1	NORWOOD JR, GEORGE K=& KELLY A	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001741	4 Story MF	1	LIBARDI FAMILY TRUST	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001767	4 Story MF	1	PACCHIAROTTI, FRANK=& GAIL	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001783	4 Story MF	1	BENJAMIN TEDERICK BOSCOLO	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001806	4 Story MF	1	GARY, KENNETH J	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001822	4 Story MF	1	MCNISH, RUSSELL D=& SHARON R	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001848	4 Story MF	1	CHURCH, JOHN DOMINIC	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001864	4 Story MF	1	DOLCE GIAVENO REAL ESTATE LLC	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001880	4 Story MF	1	GRAPPONE, MICHAEL A	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001903	4 Story MF	1	STASACK, MICHAEL A=& JUNE M	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001929	4 Story MF	1	RECHTINE, DOUGLAS J	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001945	4 Story MF	1	METZOLD, THOMAS M	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001961	4 Story MF	1	KOWALEWSKI, RICHARD=& WENDY	TERRACE IV AT TREVISO BAY	\$ 726.11
76554001987	4 Story MF	1	1233 GIAVENO LLC	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002009	4 Story MF	1	DYNAMIC ADVANTAGE OF NPLS LLC	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002025	4 Story MF	1	ADAM, MAHMOUD	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002041	4 Story MF	1	MOEN, DONALD	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002067	4 Story MF	1	VAJJHALA, RAVINDRA=& BHARATI	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002083	4 Story MF	1	DUFFY, HUGH	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002106	4 Story MF	1	IKRAMUDDIN, ILYAS=& ASMINA A	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002122	4 Story MF	1	CUMMINGS, LELAND=& KATHRYN	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002148	4 Story MF	1	FREY FL LLC	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002164	4 Story MF	1	CHRISTIANSEN, JOAN	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002180	4 Story MF	1	GAPP, STEVEN J	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002203	4 Story MF	1	REILLY, RAYMOND BERNARD	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002229	4 Story MF	1	OMALLEY, KEVIN LAWRENCE	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002245	4 Story MF	1	PASCH, TERRANCE M	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002261	4 Story MF	1	BOWMAN, WILLIAM=& RUTH	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002287	4 Story MF	1	SPEZZANO, GARY=& JANE	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002300	4 Story MF	1	FAILLA, CHARLENE=& VINCENT	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002326	4 Story MF	1	BROSS, MICHAEL D=& NANCY J	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002342	4 Story MF	1	TREVISO HILL LLC	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002368	4 Story MF	1	FLYNN, PATRICK A=& SUSAN M	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002384	4 Story MF	1	SUTTON, STUART C	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002407	4 Story MF	1	2519591 ONTARIO INC	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002423	4 Story MF	1	CARONE, GAIL H	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002449	4 Story MF	1	MARCOU LAND TRUST	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002465	4 Story MF	1	PANSINI, LINDA CRYSTAL	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002481	4 Story MF	1	MONFORT, DANIEL=& SUSAN	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002504	4 Story MF	1	SPLITRAIL CONSTRUCTION LLC	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002520	4 Story MF	1	FLAHERTY, TODD=& DAWN	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002546	4 Story MF	1	GREGORY W MARRA REV TRUST	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002562	4 Story MF	1	FARIS, CHARLES J=& COLLEEN A	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002588	4 Story MF	1	EMERSON, RICHARD E=& RHONDA H	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002601	4 Story MF	1	HARRINGTON, KEVEN P	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002627	4 Story MF	1	SPANG, WILLIAM M	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002643	4 Story MF	1	STRAUB, HAROLD T=& DONNA L	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002669	4 Story MF	1	CASTILLO, DAVID ZAPET	TERRACE IV AT TREVISO BAY	\$ 726.11
76554002685	4 Story MF	1	REDDON, FRANK J	TERRACE IV AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
76554002708	4 Story MF	1	PESKO, JOSEPH A	TERRACE IV AT TREVISIO BAY	\$ 726.11
76554002724	4 Story MF	1	FOWSER, KENNETH R	TERRACE IV AT TREVISIO BAY	\$ 726.11
76554002740	4 Story MF	1	MADDOX, REBECCA	TERRACE IV AT TREVISIO BAY	\$ 726.11
76554002766	4 Story MF	1	JRB2NAPLES LLC	TERRACE IV AT TREVISIO BAY	\$ 726.11
76554002782	4 Story MF	1	MAROTTA, LINDA A=& ANTHONY J	TERRACE IV AT TREVISIO BAY	\$ 726.11
76554002805	4 Story MF	1	DIFAZIO FLORIDA TRUST	TERRACE IV AT TREVISIO BAY	\$ 726.11
76554003024	4 Story MF	1	JOHN S HELLMUTH TRUST	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003040	4 Story MF	1	REDDY, DANIEL M	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003066	4 Story MF	1	GROTH, THOMAS	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003082	4 Story MF	1	GIAVENO 1414 LLC	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003105	4 Story MF	1	CHAWLA, SANJIT	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003121	4 Story MF	1	BRAUNSTEIN, MICHAEL	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003147	4 Story MF	1	JAMES E RUSSELL REV LIV TRUST	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003163	4 Story MF	1	NORINE L FULLER TRUST	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003189	4 Story MF	1	KELLY, CHRISTOPHER M=& GINA M	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003202	4 Story MF	1	CLEVEN, DANIEL LEO	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003228	4 Story MF	1	BROSSARD, GHISLAIN	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003244	4 Story MF	1	MCCAULEY, STEVEN	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003260	4 Story MF	1	DOBROSKI, DONALD A	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003286	4 Story MF	1	COHEN, DAVID M=& DEBRA L	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003309	4 Story MF	1	EGIROUS, NICHOLAS P	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003325	4 Story MF	1	CAPOCCIA, JEROME J=& LESLIE A	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003341	4 Story MF	1	LUTHER, MARIO L=& NANNETTE R	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003367	4 Story MF	1	VISCO, ANTHONY R	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003383	4 Story MF	1	OBRIEN,COLEMAN C=& BARBARA A	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003406	4 Story MF	1	ASKIN, JOHN J=& ANN M	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003422	4 Story MF	1	ZAINO, MARCO	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003448	4 Story MF	1	MINTA, PAUL A=& PATRICIA L	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003464	4 Story MF	1	DRAGO PROPERTIES LLC	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003480	4 Story MF	1	KENNETH M HOUSE TRUST	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003503	4 Story MF	1	RUDL, THOMAS CHARLES	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003529	4 Story MF	1	STOKS, DANIEL	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003545	4 Story MF	1	BADER, DIANE	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003561	4 Story MF	1	BRADY, TARA HOPE	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003587	4 Story MF	1	CLARK, JAMES	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003600	4 Story MF	1	GLOWACKI, JAN=& CAROLE	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003626	4 Story MF	1	MORAN, ANDREW=& SHEILA	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003642	4 Story MF	1	VAN DER WOUDE, BASTIAAN	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003668	4 Story MF	1	KBO HOLDINGS LLC	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003684	4 Story MF	1	9826 GIAVENO CIRCLE LAND TRUST	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003707	4 Story MF	1	MANN, GARY P	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003723	4 Story MF	1	ONEILL, MICHAEL=& LINDA	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003749	4 Story MF	1	JOHN R CUIE & DOLORES W CUIE	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003765	4 Story MF	1	BECKFELD, PAUL=& KATHRYN	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003781	4 Story MF	1	GUIDO, ROBERT M=& ANNA A	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003804	4 Story MF	1	ARDIZZONE, LISA	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003820	4 Story MF	1	SWEENEY, RANDY MATTHEW	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003846	4 Story MF	1	GARZONE, STEPHEN A=& ANN L	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003862	4 Story MF	1	BOYLE, ARTHUR P=& JUDITH A	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003888	4 Story MF	1	LINDA DOBRANSKI REV TRUST	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003901	4 Story MF	1	BARTON, CURTIS JAMES	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003927	4 Story MF	1	MURPHY TERENCE F=& GAIL M	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003943	4 Story MF	1	NAPLES PORTFOLIO PRTNRS LLC	TERRACE V AT TREVISIO BAY	\$ 726.11
76554003969	4 Story MF	1	POZZOBON, JOHN=& LUCY	TERRACE V AT TREVISIO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
76554003985	4 Story MF	1	BARTON FAMILY REV TRUST	TERRACE V AT TREVISO BAY	\$ 726.11
76554004007	4 Story MF	1	LUMPI, HANSJORG HEINRICH	TERRACE V AT TREVISO BAY	\$ 726.11
76554004023	4 Story MF	1	HURLEY, PATRICK	TERRACE V AT TREVISO BAY	\$ 726.11
76554004049	4 Story MF	1	GURZAU, ADRIAN=& VICKIE	TERRACE V AT TREVISO BAY	\$ 726.11
76554004065	4 Story MF	1	TEDESCO, JONATHAN M=& ROBYN L	TERRACE V AT TREVISO BAY	\$ 726.11
76554004081	4 Story MF	1	KILLACKEY, JASON=& MORAG	TERRACE V AT TREVISO BAY	\$ 726.11
76554004104	4 Story MF	1	HANSFORD, JAMES=& GRACE	TERRACE V AT TREVISO BAY	\$ 726.11
76554004120	4 Story MF	1	SANTORO, RICHARD JOHN	TERRACE V AT TREVISO BAY	\$ 726.11
76554004146	4 Story MF	1	LADOV, SAYDE J=& DAVID L	TERRACE V AT TREVISO BAY	\$ 726.11
76554004162	4 Story MF	1	HOSEY, THOMAS CARL	TERRACE V AT TREVISO BAY	\$ 726.11
76554004188	4 Story MF	1	JOHN RJ SUTHERLAND R/L TRUST	TERRACE V AT TREVISO BAY	\$ 726.11
76554004201	4 Story MF	1	CURTIS, SACHA PIECK	TERRACE V AT TREVISO BAY	\$ 726.11
76554005022	4 Story MF	1	CHRISTINE A FAIRCHILD	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005048	4 Story MF	1	9830 GIAVENO CIR 1612 LD TRUST	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005064	4 Story MF	1	SEAMAN TRUST	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005080	4 Story MF	1	JO ANN MILLER DEC OF TRUST	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005103	4 Story MF	1	FELICE, RICHARD D=& MARNELL	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005129	4 Story MF	1	WILLIAMS, JAY H=& DAWN	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005145	4 Story MF	1	HUGHES, PAULA	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005161	4 Story MF	1	MARKO, MICHELLE	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005187	4 Story MF	1	STACY FAMILY TRUST	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005200	4 Story MF	1	9830 GIAVENO CIR 1612 LD TRUST	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005226	4 Story MF	1	WINTERBOTTOM, ALAN	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005242	4 Story MF	1	KIRSCH, IRA D=& JANE R	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005268	4 Story MF	1	POMPEO, MARCO=& RITA M	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005284	4 Story MF	1	GIANGRANDE, SERGIO=& LISAMARIE	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005307	4 Story MF	1	CASSIDY, JOHN C	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005323	4 Story MF	1	BALLOU, STEPHEN P	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005349	4 Story MF	1	RAFFA, SCOTT=& WENDY	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005365	4 Story MF	1	RLJ REAL ESTATE LLC	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005381	4 Story MF	1	SLOANE, LAWRENCE F=& SANDRA S	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005404	4 Story MF	1	KENNEDY, BRIAN A	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005420	4 Story MF	1	PRENDERGAST FLORIDA TRUST	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005446	4 Story MF	1	MCMAHON ET AL, COLIN J	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005462	4 Story MF	1	ELSBETHEN APARTMENTS LLC	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005488	4 Story MF	1	STROEBEL, WILLIAM J=& DIANE	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005501	4 Story MF	1	MILLER, ZACHARY J=& SUSAN A	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005527	4 Story MF	1	KATHLEEN T CUMMINGS TRUST	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005543	4 Story MF	1	PUDDISTER, WILLIAM M	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005569	4 Story MF	1	PENISTON, ERIC WINCHESTER	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005585	4 Story MF	1	KURTY, TIMOTHY P	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005608	4 Story MF	1	KATHLEEN M WILSON TST TRUST	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005624	4 Story MF	1	ODONNELL, JEFFREY=& KATHLEEN	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005640	4 Story MF	1	TVB1712 LLC	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005666	4 Story MF	1	DECAIRE, BRIAN A	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005682	4 Story MF	1	25 JEROME AVENUE LLC	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005705	4 Story MF	1	DAVID H MARCOU JR LTD PRNTP	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005721	4 Story MF	1	CLARK, JOHN B	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005747	4 Story MF	1	MURPHY, LINDA A	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005763	4 Story MF	1	HALAMANDARIS, BILL=& ANGELA	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005789	4 Story MF	1	MUHA, WILLIAM V=& JOAN MARY	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005802	4 Story MF	1	DOLCE GIAVENO REAL ESTATE LLC	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005828	4 Story MF	1	MCALLISTER, PATRICK M	TERRACE VI AT TREVISO BAY	\$ 726.11
76554005844	4 Story MF	1	GEORGAKOPOULOS, ANDREW	TERRACE VI AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
76554005860	4 Story MF	1	MDMILLER ENTERPRISES LLC	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554005886	4 Story MF	1	MAFFUID, TIMOTHY J=& ASHLEY B	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554005909	4 Story MF	1	PIERCE, DAVID R=& DEBRA L	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554005925	4 Story MF	1	MASTRIANNI, JOHN J	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554005941	4 Story MF	1	HOBWEN INC.	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554005967	4 Story MF	1	MORRILL, DAVID	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554005983	4 Story MF	1	MARTIN, DAVID A=& KRISTA S	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006005	4 Story MF	1	ALAMPI, PHILIP=& TRACEY	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006021	4 Story MF	1	DEBLASIO, PHILIP=& ALICIA A	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006047	4 Story MF	1	AZEM, JAMAL M	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006063	4 Story MF	1	BREWER, SUSAN J	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006089	4 Story MF	1	WESTERLUND, TROY L=& PEGGY A	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006102	4 Story MF	1	KBO HOLDINGS LLC	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006128	4 Story MF	1	STOGIOS, CHRISTOPHER	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006144	4 Story MF	1	HACHMANN, JEFFREY	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006160	4 Story MF	1	9834 GIAVENO CIRCLE LAND TRUST	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006186	4 Story MF	1	STEWART, MICHAEL R=& CHERYL A	TERRACE VI AT TREVISIO BAY	\$ 726.11
76554006209	4 Story MF	1	TASSI, PHILLIP JOHN	TERRACE VI AT TREVISIO BAY	\$ 726.11
76555000026	4 Story MF	1	BEAUTIFUL HOMES OF FLORIDA LLC	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000042	4 Story MF	1	FLANAGAN, KAREN L	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000068	4 Story MF	1	RENKEL, FRANK	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000084	4 Story MF	1	DAVID J ROLLER REV TRUST	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000107	4 Story MF	1	IMHOF, ETHAN D	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000123	4 Story MF	1	OCONNOR, SUZANNE O	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000149	4 Story MF	1	BALBONI, JOSEPH A=& JOANN R	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000165	4 Story MF	1	LANE, STAN=& CHRISTINE M	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000181	4 Story MF	1	GROOMS, TODD	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000204	4 Story MF	1	4722 TREVI COURT LLC	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000220	4 Story MF	1	CURTIS, KEITH E	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000246	4 Story MF	1	MEROLLA, MICHAEL J=& LORI J	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000262	4 Story MF	1	ARCIA, MAGALY M	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000288	4 Story MF	1	ANNARUMMA, PAULA M=& JOSEPH M	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000301	4 Story MF	1	JOHN L HANNETT REV LIV TRUST	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000327	4 Story MF	1	STEFANOVIC, VESNA	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000343	4 Story MF	1	DEBRA LOUISE HIRAKAWA ANCONA	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000369	4 Story MF	1	GAVIGAN, JAMES M=& LINDA K	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000385	4 Story MF	1	JANAS, DANIEL A	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000408	4 Story MF	1	GRAESSEL ET AL, KARL THOMAS	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000424	4 Story MF	1	WILSON, DAVID L=& KATHLEEN M	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000440	4 Story MF	1	MONTGOMERY PROP MGMT LLC	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000466	4 Story MF	1	REHNBERG, JEFFREY ARTHUR	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000482	4 Story MF	1	SCULLY, MARTIN J=& LINDA E	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000505	4 Story MF	1	KOOLE, MEES J=& GERLINDE	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000521	4 Story MF	1	FRONTERA PROPERTY MGMNT LLC	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000547	4 Story MF	1	BEAUTIFUL HOMES OF FLORIDA LLC	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000563	4 Story MF	1	JOYCE L APPLGARTH TRUST	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000589	4 Story MF	1	THOMAS, STEVEN M=& SUSAN M	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000602	4 Story MF	1	PORTO, CHRISTIAN ANTHONY	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000628	4 Story MF	1	EISAMAN, KARL EDWARD	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000644	4 Story MF	1	ROSEMARY AMENDOLA REV TRUST	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000660	4 Story MF	1	HANN, BEVERLY ANN	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000686	4 Story MF	1	GERTZ, MARY ANN	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000709	4 Story MF	1	MARSHALL, BETTY E	TERRACE VII AT TREVISIO BAY	\$ 726.11
76555000725	4 Story MF	1	GALLARDO, IVAN J=& DOLORES E	TERRACE VII AT TREVISIO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
76555000741	4 Story MF	1	JULIE AHEE LIVING TRUST	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000767	4 Story MF	1	HARRISON, MARY A	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000783	4 Story MF	1	HANSMAN, DONALD J	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000806	4 Story MF	1	BAKER, RALPH=& MARCIA	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000822	4 Story MF	1	DERCOLE, EDWARD=& SUSAN	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000848	4 Story MF	1	NOBLE, BRAD A=& SHAWNDA R	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000864	4 Story MF	1	BURNS, CHARLES J	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000880	4 Story MF	1	DIGIOVANNI, DOMINIC A	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000903	4 Story MF	1	TREVISO BAY 2017 REALTY TRUST	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000929	4 Story MF	1	DOONAN, MARYA E	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000945	4 Story MF	1	MANDRESH, STEPHAN M	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000961	4 Story MF	1	GORDIN FAMILY IRREV TRUST	TERRACE VII AT TREVISO BAY	\$ 726.11
76555000987	4 Story MF	1	MORRISON LIVING TRUST	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001009	4 Story MF	1	DESOUZA, CHARLES S	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001025	4 Story MF	1	SALERNO, ROBERT H	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001041	4 Story MF	1	LAWRENCE & BARBARA POLMAN	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001067	4 Story MF	1	BOHNE, JOHN P=& KATHLEEN M	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001083	4 Story MF	1	ANNA LUCADELLO 2012 TRUST	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001106	4 Story MF	1	HOWARD J SUND REV TRUST	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001122	4 Story MF	1	AKZ 2001 LLC	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001148	4 Story MF	1	GLYTSEA, PETER=& ELENI	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001164	4 Story MF	1	MORIN, BOBETTE JEAN	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001180	4 Story MF	1	GALIOTO, DENISE A	TERRACE VII AT TREVISO BAY	\$ 726.11
76555001203	4 Story MF	1	AFONSO, GEORGE=& TERESA S	TERRACE VII AT TREVISO BAY	\$ 726.11
7655500021	4 Story MF	1	CROUTHAMEL, JONATHAN H	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500047	4 Story MF	1	LMC ANGELS PROPERTIES LLC	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500063	4 Story MF	1	TARTAGLIONE, PETER=& ROSE	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500089	4 Story MF	1	UNC HOLDINGS LLC	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500102	4 Story MF	1	BERING, MARK P	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500128	4 Story MF	1	POLLASTRINI ET AL, RONALD J	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500144	4 Story MF	1	OPTIMUS REAL ESTATE LLC	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500160	4 Story MF	1	OCONNOR, SUZANNE O=& WALTER J	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500186	4 Story MF	1	STUART, DEAN JAY=& ANN MARIE	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500209	4 Story MF	1	FAETH, KENNETH J	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500225	4 Story MF	1	LOGAN, ERNEST	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500241	4 Story MF	1	TATT PROPERTIES (TREVISO) LLC	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500267	4 Story MF	1	CASEY, COLLEEN M	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500283	4 Story MF	1	TS'O, THEODORE YUE TAK	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500306	4 Story MF	1	SUSAN E PIERRES LIVING TRUST	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500322	4 Story MF	1	ROBERT C CAMMARANO LIV TRUST	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500348	4 Story MF	1	RECCHIA, KEVIN V	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500364	4 Story MF	1	SCHULDT, KAREN	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500380	4 Story MF	1	SHEEKS III, PAUL P	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500403	4 Story MF	1	STAMPONE JR, VICTOR H	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500429	4 Story MF	1	THAYER, KENNETH R	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500445	4 Story MF	1	RUSSELL, JOSEPH EDWARD	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500461	4 Story MF	1	SCARPATI, MARILYN=& JOSEPH	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500487	4 Story MF	1	BRADY, HOPE M	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500500	4 Story MF	1	DIFONZO, JAMES P	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500526	4 Story MF	1	ELIZABETH A ACETO REV TRUST	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500542	4 Story MF	1	CAVALLO, ROBERT=& JOYCE	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500568	4 Story MF	1	ARNOLD, WALTER H=& ANNA M	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500584	4 Story MF	1	SIMMEN, WILLIAM SCOTT	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500607	4 Story MF	1	RAE, ROBERT D	TERRACE VIII AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
7655500623	4 Story MF	1	RENKEL, FRANK	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500649	4 Story MF	1	COBIN, KAREN	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500665	4 Story MF	1	MCDONALD, CAROLYN ANN	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500681	4 Story MF	1	10023 RITTER ROAD LLC	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500704	4 Story MF	1	VAJJHALA, RAVI=& BHARATI	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500720	4 Story MF	1	KROUT, MARY GERALYN	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500746	4 Story MF	1	FELICE, RICHARD=& MARNELL	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500762	4 Story MF	1	ROBERT J GALAC TRUST	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500788	4 Story MF	1	KEVIN M MCALLISTER & PAULA J	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500801	4 Story MF	1	TANTILLO JR, JOSEPH P	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500827	4 Story MF	1	SIRAVO JR, JOSPEH F=& MARIE E	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500843	4 Story MF	1	DIXON, CHAPLIN E	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500869	4 Story MF	1	JOHN FERNANDEZ & TERESA	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500885	4 Story MF	1	VALLE, BRIAN D=& ELLEN P	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500908	4 Story MF	1	JOHNSTON, WILLIAM=& JOCELYN	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500924	4 Story MF	1	SUSAN L HURSTIK TRUST	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500940	4 Story MF	1	ROSE, LOUIS A	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500966	4 Story MF	1	BONNER, JOHN	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655500982	4 Story MF	1	CLINTON JAMES POTTER 2005 TRST	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501004	4 Story MF	1	DEMARTINI, THOMAS C	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501020	4 Story MF	1	FRIEDMAN, MICHAEL A=& LONA A	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501046	4 Story MF	1	MERCIER-FERRARA, CHERYL M	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501062	4 Story MF	1	MCDONNELL JR, JOHN F=& MARY E	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501088	4 Story MF	1	MCCARTNEY, JOANNE Z	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501101	4 Story MF	1	LUNING, MARY ELLEN	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501127	4 Story MF	1	HART, CASSANDRA	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501143	4 Story MF	1	CARPENTIER, ANNIE	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501169	4 Story MF	1	WOLSTENHOLME, ALAN=& AUDREY	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501185	4 Story MF	1	BEAL, KEVIN M=& JAMIE M	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655501208	4 Story MF	1	JOCHHEIM, BERNHARD	TERRACE VIII AT TREVISO BAY	\$ 726.11
7655502029	4 Story MF	1	FIORE, DIANE J	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502045	4 Story MF	1	LABARBERA, JOHN V=& JUDITH	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502061	4 Story MF	1	VANZO FAMILY TRUST	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502087	4 Story MF	1	JOHNSON, EDWARD H=& KATHLEEN	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502100	4 Story MF	1	MCDONNELL JR, JOHN F=& MARY E	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502126	4 Story MF	1	CATON, TERRI LYNNE	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502142	4 Story MF	1	LINDA M DOLCETTO REV TRUST	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502168	4 Story MF	1	WIGHTMAN, DOUG=& MEGHAN K	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502184	4 Story MF	1	SAVARESE, JOHN=& MARGARET	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502207	4 Story MF	1	ALLIKAT RENTAL PROPERTY LLC	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502223	4 Story MF	1	5123 TREVI GROUP LLC	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502249	4 Story MF	1	SWEENEY, PATRICK J=& NANCY E	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502265	4 Story MF	1	GUZZO KNOWLES, ELIZABETH A	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502281	4 Story MF	1	CALDWELL, TOBIAS	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502304	4 Story MF	1	GOEDEL, MICHAEL=& LENORE	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502320	4 Story MF	1	TBT PROPERTIES LLC	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502346	4 Story MF	1	REHER, RANDALL LEE	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502362	4 Story MF	1	PECORARO, BIAGO=& FRANCESCA	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502388	4 Story MF	1	NICKERSON, PAULA	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502401	4 Story MF	1	GUENSCH, DAVID F=& ELIZABETH	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502427	4 Story MF	1	CONTINENZA, ANTHONY T=& DANEEN	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502443	4 Story MF	1	HARWOOD, JOHN D	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502469	4 Story MF	1	LA MARCA, VITO=& ROSA	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502485	4 Story MF	1	MARY JO BURFEIND TRUST	TERRACE IX AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
7655502508	4 Story MF	1	DAMBRA, CARMINE=& NORA C	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502524	4 Story MF	1	GOLDEN BRIDGES II LLC	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502540	4 Story MF	1	CHRISTINE C MAXWELL DECL TRUST	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502566	4 Story MF	1	NEMETH, PATRICIA=& JAMES	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502582	4 Story MF	1	GUELI, CARMELO P=& GLORINDA	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502605	4 Story MF	1	ODOHERTY, DENNIS J	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502621	4 Story MF	1	NANCY J HAACK LILLENBERG TRUST	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502647	4 Story MF	1	RONDINI, ROBERT F	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502663	4 Story MF	1	MUSTARDO, RICHARD P=& KAREN	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502689	4 Story MF	1	VASQUEZ, JUAN	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502702	4 Story MF	1	KALABZA, DEBRA A	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502728	4 Story MF	1	HIBBS, MONICA	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502744	4 Story MF	1	DAVIS, LEO=& ANGELA S	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502760	4 Story MF	1	GRINDE, CRAIG=& LORI	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502786	4 Story MF	1	HILL, SUSAN=& PAUL	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502809	4 Story MF	1	DESTENO, ROBERT=& MARGARET	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502825	4 Story MF	1	9584 TREVI COURT LLC	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502841	4 Story MF	1	MONTICELLO, ANTHONY J	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502867	4 Story MF	1	UNC HOLDINGS LLC	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502883	4 Story MF	1	ARTHUR G & KIM M HOFMANN	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502906	4 Story MF	1	MERNER, ROBERT=& JEANNE	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502922	4 Story MF	1	BROCATO, LAWRENCE J=& ROSE M	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502948	4 Story MF	1	MILLER, JAMES E=& JUDITH A	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502964	4 Story MF	1	SOAVE, LEO=& MARIA	TERRACE IX AT TREVISO BAY	\$ 726.11
7655502980	4 Story MF	1	PARNELL, BRIAN P=& NADINE E	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503002	4 Story MF	1	SYLVIA, MAXINE YVONNE	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503028	4 Story MF	1	STRAUS, KATHLEEN =& ANDREW	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503044	4 Story MF	1	WEAVER, NATHAN=& FALISCIA	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503060	4 Story MF	1	AFFORDABLE HOUSING INDY LLC	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503086	4 Story MF	1	JABRI, JASMINE	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503109	4 Story MF	1	LITA, BARBARA	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503125	4 Story MF	1	MULROE, JAMES=& CYNTHIA	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503141	4 Story MF	1	BRUNO, CONCETTA R	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503167	4 Story MF	1	PATRICIA MILLS JANEWAY LV TRST	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503183	4 Story MF	1	BALL, KARIN HELEN	TERRACE IX AT TREVISO BAY	\$ 726.11
7655503206	4 Story MF	1	CULLEN, MARK J=& KATHLEEN M	TERRACE IX AT TREVISO BAY	\$ 726.11
7655504001	4 Story MF	1	CERONE, GERARDO=& CARRIE	TERRACE X AT TREVISO BAY	\$ 726.11
7655504027	4 Story MF	1	MULLAVEY, SARAH=& MICHAEL	TERRACE X AT TREVISO BAY	\$ 726.11
7655504043	4 Story MF	1	SLANO, LAURA	TERRACE X AT TREVISO BAY	\$ 726.11
7655504069	4 Story MF	1	KARJEL, CHRISTINE=& ERIC	TERRACE X AT TREVISO BAY	\$ 726.11
7655504085	4 Story MF	1	ROXBROUGH, CAROL	TERRACE X AT TREVISO BAY	\$ 726.11
7655504108	4 Story MF	1	PETER RUGGIERI DEC OF TRUST	TERRACE X AT TREVISO BAY	\$ 726.11
7655504124	4 Story MF	1	PERLA, SALVATORE=& KELLEY	TERRACE X AT TREVISO BAY	\$ 726.11
7655504140	4 Story MF	1	VALERA, ELIZABETH=& ROAMY RAUL	TERRACE X AT TREVISO BAY	\$ 726.11
7655504166	4 Story MF	1	DRAGICEVIC, EMIL=& RADMILA	TERRACE X AT TREVISO BAY	\$ 726.11
7655504182	4 Story MF	1	POIDOMANI, KAREN=& KEVIN	TERRACE X AT TREVISO BAY	\$ 726.11
7655504205	4 Story MF	1	THOMAS A REACKOOD TRUST	TERRACE X AT TREVISO BAY	\$ 726.11
7655504221	4 Story MF	1	EXECUTIVE REALTY MGMT LLC	TERRACE X AT TREVISO BAY	\$ 726.11
7655504247	4 Story MF	1	BRASEL, VICKI	TERRACE X AT TREVISO BAY	\$ 726.11
7655504263	4 Story MF	1	MONFRE, GARY=& CAROL	TERRACE X AT TREVISO BAY	\$ 726.11
7655504289	4 Story MF	1	RICHARD C NELSON & G JOYCE	TERRACE X AT TREVISO BAY	\$ 726.11
7655504302	4 Story MF	1	ZAWOL, DANA=& JOSEPH	TERRACE X AT TREVISO BAY	\$ 726.11
7655504328	4 Story MF	1	NOVOTNY SR, THOMAS PETER	TERRACE X AT TREVISO BAY	\$ 726.11
7655504344	4 Story MF	1	YOLTAY, ELAINE LOUISE	TERRACE X AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
7655504360	4 Story MF	1	DJBEAR LLC	TERRACE X AT TREVISO BAY	\$ 726.11
7655504386	4 Story MF	1	BAHL, RAJIV=& ANU	TERRACE X AT TREVISO BAY	\$ 726.11
7655504409	4 Story MF	1	PINO, KEVIN=& PAMLA	TERRACE X AT TREVISO BAY	\$ 726.11
7655504425	4 Story MF	1	THEODORE & JOANNE WERNER TRUST	TERRACE X AT TREVISO BAY	\$ 726.11
7655504441	4 Story MF	1	PIGAT, LISA	TERRACE X AT TREVISO BAY	\$ 726.11
7655504467	4 Story MF	1	SCHPEPS, KATHLEEN	TERRACE X AT TREVISO BAY	\$ 726.11
7655504483	4 Story MF	1	JOHNSON, KATHLEEN MARIE	TERRACE X AT TREVISO BAY	\$ 726.11
7655504506	4 Story MF	1	MOCCIA REALTY TRUST	TERRACE X AT TREVISO BAY	\$ 726.11
7655504522	4 Story MF	1	FRASER, CHRISTOPHER	TERRACE X AT TREVISO BAY	\$ 726.11
7655504548	4 Story MF	1	PAYNE, RICHARD=& KAREN	TERRACE X AT TREVISO BAY	\$ 726.11
7655504564	4 Story MF	1	FUMANDO, ANGELA	TERRACE X AT TREVISO BAY	\$ 726.11
7655504580	4 Story MF	1	OLETREVI LLC	TERRACE X AT TREVISO BAY	\$ 726.11
7655504603	4 Story MF	1	SICILLANO FAMILY IRRV LV TRUST	TERRACE X AT TREVISO BAY	\$ 726.11
7655504629	4 Story MF	1	MAZZUCA, ORLANDO	TERRACE X AT TREVISO BAY	\$ 726.11
7655504645	4 Story MF	1	HARPOLIS, PANO=& JODI MURPHY	TERRACE X AT TREVISO BAY	\$ 726.11
7655504661	4 Story MF	1	SANCHEZ, JUAN CARLOS=& MAYLEE	TERRACE X AT TREVISO BAY	\$ 726.11
7655504687	4 Story MF	1	BIER, LEONARD	TERRACE X AT TREVISO BAY	\$ 726.11
7655504700	4 Story MF	1	BERSOK, PAUL ANTHONY	TERRACE X AT TREVISO BAY	\$ 726.11
7655504726	4 Story MF	1	CIAMPO, DONNA M=& ANTHONY T JR	TERRACE X AT TREVISO BAY	\$ 726.11
7655504742	4 Story MF	1	BALZLI, MARY BETH	TERRACE X AT TREVISO BAY	\$ 726.11
7655504768	4 Story MF	1	CAVALLO, ROBERT E=& CYNTHIA M	TERRACE X AT TREVISO BAY	\$ 726.11
7655504784	4 Story MF	1	RELYEA, CHRISTINE	TERRACE X AT TREVISO BAY	\$ 726.11
7655504807	4 Story MF	1	OHEARN, ANN E	TERRACE X AT TREVISO BAY	\$ 726.11
7655504823	4 Story MF	1	MCDONALD, CAROLYN	TERRACE X AT TREVISO BAY	\$ 726.11
7655504849	4 Story MF	1	CERCONE, PETER J=& CYNTHIA L	TERRACE X AT TREVISO BAY	\$ 726.11
7655504865	4 Story MF	1	PEREZ, DAVID	TERRACE X AT TREVISO BAY	\$ 726.11
7655504881	4 Story MF	1	HORVATH, KRISTINE=& DANIEL	TERRACE X AT TREVISO BAY	\$ 726.11
7655504904	4 Story MF	1	REBANT, SUZETTE=& CHRIS	TERRACE X AT TREVISO BAY	\$ 726.11
7655504920	4 Story MF	1	HALL JR, KENNETH V=DENISE C	TERRACE X AT TREVISO BAY	\$ 726.11
7655504946	4 Story MF	1	SANCHEZ, JUAN CARLOS=& MAYLEE	TERRACE X AT TREVISO BAY	\$ 726.11
7655504962	4 Story MF	1	SUSAN CAMMARANO LIV TRUST	TERRACE X AT TREVISO BAY	\$ 726.11
7655504988	4 Story MF	1	SHIBEL, FREDERICK	TERRACE X AT TREVISO BAY	\$ 726.11
7655505000	4 Story MF	1	SUNSER, JAMES MARTIN=& ROSEANN	TERRACE X AT TREVISO BAY	\$ 726.11
7655505026	4 Story MF	1	KATHLEEN E OLEARY FAM LV TRUST	TERRACE X AT TREVISO BAY	\$ 726.11
7655505042	4 Story MF	1	RICHARDSON, ROBERT	TERRACE X AT TREVISO BAY	\$ 726.11
7655505068	4 Story MF	1	KELLY, HEIDI LEE	TERRACE X AT TREVISO BAY	\$ 726.11
7655505084	4 Story MF	1	LARATONDA JR, EUGENE F	TERRACE X AT TREVISO BAY	\$ 726.11
7655505107	4 Story MF	1	BAKAL, RON=& LIHI	TERRACE X AT TREVISO BAY	\$ 726.11
7655505123	4 Story MF	1	PONSLER, SUSAN KAHL	TERRACE X AT TREVISO BAY	\$ 726.11
7655505149	4 Story MF	1	BELL, MORGAN	TERRACE X AT TREVISO BAY	\$ 726.11
7655505165	4 Story MF	1	PERILLO, MICHELE	TERRACE X AT TREVISO BAY	\$ 726.11
7655505181	4 Story MF	1	TBT PROPERTIES LLC	TERRACE X AT TREVISO BAY	\$ 726.11
77470000029	Commercial	N/A	SHADI OF NAPLES INC	TREVISO BAY TRACT FD-1	\$ 22,309.39
79904030026	2 Story MF	1	DAVID H LANGENBACH TRUST	VERANDA I AT TREVISO BAY	\$ 726.11
79904030042	2 Story MF	1	GIMPEL, JOHN=& EILEEN A	VERANDA I AT TREVISO BAY	\$ 726.11
79904030068	2 Story MF	1	CARROLL, JOHN=& EILEEN	VERANDA I AT TREVISO BAY	\$ 726.11
79904030084	2 Story MF	1	D & VA HOLDINGS INC	VERANDA I AT TREVISO BAY	\$ 726.11
79904030107	2 Story MF	1	WARD, DONALD=& MONIQUE	VERANDA I AT TREVISO BAY	\$ 726.11
79904030123	2 Story MF	1	SORNELL NAPLES PROPERTIES LLC	VERANDA I AT TREVISO BAY	\$ 726.11
79904030149	2 Story MF	1	IKRAMUDDIN, ILYAS=& ASMINA	VERANDA I AT TREVISO BAY	\$ 726.11
79904030165	2 Story MF	1	GUINN JR, BUDDY C=& RHONDA J	VERANDA I AT TREVISO BAY	\$ 726.11
79904030181	2 Story MF	1	LETZEL, MANUELA CARMEN	VERANDA I AT TREVISO BAY	\$ 726.11
79904030204	2 Story MF	1	LITTLE, JOSEPH S=& LESLIE S	VERANDA I AT TREVISO BAY	\$ 726.11
79904030220	2 Story MF	1	ALLEN, JEFFREY DAVID	VERANDA I AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
79904030246	2 Story MF	1	DUTTGE III, PAUL C	VERANDA I AT TREVISO BAY	\$ 726.11
79904030262	2 Story MF	1	MARKS, JEFFREY	VERANDA I AT TREVISO BAY	\$ 726.11
79904030288	2 Story MF	1	ALEXANDER & KATHRYN RAGO	VERANDA I AT TREVISO BAY	\$ 726.11
79904030301	2 Story MF	1	WILLIAM D CHEYNE LIV TRUST	VERANDA I AT TREVISO BAY	\$ 726.11
79904030327	2 Story MF	1	MAROUSSI, LEO	VERANDA I AT TREVISO BAY	\$ 726.11
79904030343	2 Story MF	1	WILLIAMS, ROBERT J=& JEANNE L	VERANDA I AT TREVISO BAY	\$ 726.11
79904030369	2 Story MF	1	WAMPLER III, ROBERT J	VERANDA I AT TREVISO BAY	\$ 726.11
79904030385	2 Story MF	1	CHERYL ANN HURLEY REV TRUST	VERANDA I AT TREVISO BAY	\$ 726.11
79904030408	2 Story MF	1	TOTI, STEPHEN A=& EILEEN M	VERANDA I AT TREVISO BAY	\$ 726.11
79904030424	2 Story MF	1	BOSSARD, DAVID=& CONNIE	VERANDA I AT TREVISO BAY	\$ 726.11
79904030440	2 Story MF	1	SANDEL, CHRISTOPHER E	VERANDA I AT TREVISO BAY	\$ 726.11
79904030466	2 Story MF	1	TLM US REAL ESTATE FAM TRUST	VERANDA I AT TREVISO BAY	\$ 726.11
79904030482	2 Story MF	1	FARIS, CHARLES J=& COLLEEN A	VERANDA I AT TREVISO BAY	\$ 726.11
79904030505	2 Story MF	1	HILTBRAND FAMILY TRUST	VERANDA I AT TREVISO BAY	\$ 726.11
79904030521	2 Story MF	1	MARTIN, ROBERT=& CARA	VERANDA I AT TREVISO BAY	\$ 726.11
79904030547	2 Story MF	1	MCLEAN, JOSEPH J	VERANDA I AT TREVISO BAY	\$ 726.11
79904030563	2 Story MF	1	LEHR, ERROL DARIN	VERANDA I AT TREVISO BAY	\$ 726.11
79904030589	2 Story MF	1	MUNCEY JR, PETER N	VERANDA I AT TREVISO BAY	\$ 726.11
79904030602	2 Story MF	1	VALYANT INVESTMENTS LLC	VERANDA I AT TREVISO BAY	\$ 726.11
79904030628	2 Story MF	1	SAKRAN SUNSHINE TRUST	VERANDA I AT TREVISO BAY	\$ 726.11
79904030644	2 Story MF	1	MERINGOLO FAMILY IRREV TRUST	VERANDA I AT TREVISO BAY	\$ 726.11
79904030660	2 Story MF	1	DOYLE, TODD H=& JILLANE M	VERANDA I AT TREVISO BAY	\$ 726.11
79904030686	2 Story MF	1	KELLER, EDWIN R=& KAREN L	VERANDA I AT TREVISO BAY	\$ 726.11
79904030709	2 Story MF	1	SALVATORE A COSTA U S TRUST	VERANDA I AT TREVISO BAY	\$ 726.11
79904030725	2 Story MF	1	MURPHY, BRIAN P=& ELAINE M	VERANDA I AT TREVISO BAY	\$ 726.11
79904030741	2 Story MF	1	NORTH, ROBERT W=& MARSHA L	VERANDA I AT TREVISO BAY	\$ 726.11
79904030767	2 Story MF	1	DIPENTO, MICHAEL ANTHONY	VERANDA I AT TREVISO BAY	\$ 726.11
79904030783	2 Story MF	1	ASTA, CARMEN FRANCIS	VERANDA I AT TREVISO BAY	\$ 726.11
79904030806	2 Story MF	1	RAYMOND, STEPHEN G	VERANDA I AT TREVISO BAY	\$ 726.11
79904030822	2 Story MF	1	CARROLL, WILLIAM=& DONNA	VERANDA I AT TREVISO BAY	\$ 726.11
79904030848	2 Story MF	1	RANIERI, VINCENT D=& KARA L	VERANDA I AT TREVISO BAY	\$ 726.11
79904030864	2 Story MF	1	CHASE, MATTHEW=& SOPHIA	VERANDA I AT TREVISO BAY	\$ 726.11
79904030880	2 Story MF	1	CHILDERS, DOUGLAS J=& BRENDA A	VERANDA I AT TREVISO BAY	\$ 726.11
79904030903	2 Story MF	1	BOTTIGLIA, MARCELLO	VERANDA I AT TREVISO BAY	\$ 726.11
79904030929	2 Story MF	1	GORAN STOJKOSKI & NANCY A	VERANDA I AT TREVISO BAY	\$ 726.11
79904030945	2 Story MF	1	CAPUTO, WAYNE FRANCIS	VERANDA I AT TREVISO BAY	\$ 726.11
79904030961	2 Story MF	1	ELLIOTT, PAUL DONALD	VERANDA I AT TREVISO BAY	\$ 726.11
79904030987	2 Story MF	1	ROUTH, NANCY ANN	VERANDA I AT TREVISO BAY	\$ 726.11
79904031009	2 Story MF	1	CHIEFFO SR, ANTHONY J	VERANDA I AT TREVISO BAY	\$ 726.11
79904031025	2 Story MF	1	IKRAMUDDIN, ILYAS=& ASMINA A	VERANDA I AT TREVISO BAY	\$ 726.11
79904031041	2 Story MF	1	WILLIAMS, CASIE N	VERANDA I AT TREVISO BAY	\$ 726.11
79904031067	2 Story MF	1	PERRINO, SHARON L	VERANDA I AT TREVISO BAY	\$ 726.11
79904031083	2 Story MF	1	WEETS, DEREK J=& MARY J	VERANDA I AT TREVISO BAY	\$ 726.11
79904031106	2 Story MF	1	CAVALLO, GEORGE=& IRIS	VERANDA I AT TREVISO BAY	\$ 726.11
79904031122	2 Story MF	1	LE, THIEN THANH	VERANDA I AT TREVISO BAY	\$ 726.11
79904031148	2 Story MF	1	STEELE, DAVID L=& SHERRY R	VERANDA I AT TREVISO BAY	\$ 726.11
79904031164	2 Story MF	1	RUSKIN, JAMES A	VERANDA I AT TREVISO BAY	\$ 726.11
79904031180	2 Story MF	1	KAREN DIANA LARRY REV TRUST	VERANDA I AT TREVISO BAY	\$ 726.11
79904031203	2 Story MF	1	BOEHM, TIMOTHY D	VERANDA I AT TREVISO BAY	\$ 726.11
79904031520	2 Story MF	1	MICHAEL VAGLICA 2015 REV TRUST	VERANDA II AT TREVISO BAY	\$ 726.11
79904031546	2 Story MF	1	AVELLINO ASSOCIATES LLC	VERANDA II AT TREVISO BAY	\$ 726.11
79904031562	2 Story MF	1	WOODHALL, FRED=& ROSELINDA	VERANDA II AT TREVISO BAY	\$ 726.11
79904031588	2 Story MF	1	SCHRATKE, GREGORY LAWSON	VERANDA II AT TREVISO BAY	\$ 726.11
79904031601	2 Story MF	1	CHAWLA, SANJIT	VERANDA II AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
79904031627	2 Story MF	1	NELSON, D LARRY=& BARBARA J	VERANDA II AT TREVISO BAY	\$ 726.11
79904031643	2 Story MF	1	DANIELS, ORLANDO R	VERANDA II AT TREVISO BAY	\$ 726.11
79904031669	2 Story MF	1	HAWRAN, DIANE=& MARCUS C	VERANDA II AT TREVISO BAY	\$ 726.11
79904031685	2 Story MF	1	STEINKEN, ERIC=& CAROLINE	VERANDA II AT TREVISO BAY	\$ 726.11
79904031708	2 Story MF	1	BOYLE JR, GERARD T=& DONNA A	VERANDA II AT TREVISO BAY	\$ 726.11
79904031724	2 Story MF	1	STAUBACH, WILLIAM R=& TINA M	VERANDA II AT TREVISO BAY	\$ 726.11
79904031740	2 Story MF	1	SUTTON, PATRICK	VERANDA II AT TREVISO BAY	\$ 726.11
79904031766	2 Story MF	1	SUSAN M GLEASON TRUST	VERANDA II AT TREVISO BAY	\$ 726.11
79904031782	2 Story MF	1	SHAFFER, E BETH	VERANDA II AT TREVISO BAY	\$ 726.11
79904031805	2 Story MF	1	NUNZIATA, AUGUST J	VERANDA II AT TREVISO BAY	\$ 726.11
79904031821	2 Story MF	1	BERTHA, FRANCIS JOSEPH	VERANDA II AT TREVISO BAY	\$ 726.11
79904031847	2 Story MF	1	BRADY, HOPE M	VERANDA II AT TREVISO BAY	\$ 726.11
79904031863	2 Story MF	1	MCLAREN, THOMAS=& MAURA	VERANDA II AT TREVISO BAY	\$ 726.11
79904031889	2 Story MF	1	EVELYN B COLLINS REV LIV TRUST	VERANDA II AT TREVISO BAY	\$ 726.11
79904031902	2 Story MF	1	HURLBUT, LESLIE BOYER	VERANDA II AT TREVISO BAY	\$ 726.11
79904031928	2 Story MF	1	GOLANKA, MICHAEL P=& BARBARA A	VERANDA II AT TREVISO BAY	\$ 726.11
79904031944	2 Story MF	1	CARROLL JR, WILLIAM J	VERANDA II AT TREVISO BAY	\$ 726.11
79904031960	2 Story MF	1	DUPRE, LOUIS C=& JOCELYN A	VERANDA II AT TREVISO BAY	\$ 726.11
79904031986	2 Story MF	1	COHEN, ARIELA=& MOSHE	VERANDA II AT TREVISO BAY	\$ 726.11
79904032008	2 Story MF	1	SIANO, VINCENT=& CHERYL	VERANDA II AT TREVISO BAY	\$ 726.11
79904032024	2 Story MF	1	LACOUR, LAUREN N	VERANDA II AT TREVISO BAY	\$ 726.11
79904032040	2 Story MF	1	AGLOW PROPERTIES INC	VERANDA II AT TREVISO BAY	\$ 726.11
79904032066	2 Story MF	1	PENNER, BEATRICE=& HERBERT	VERANDA II AT TREVISO BAY	\$ 726.11
79904032082	2 Story MF	1	WE CAN DO THAT LLC	VERANDA II AT TREVISO BAY	\$ 726.11
79904032105	2 Story MF	1	CHOBOR, ROBERT=& BARBARA	VERANDA II AT TREVISO BAY	\$ 726.11
79904032121	2 Story MF	1	STEVE, DOUG J	VERANDA II AT TREVISO BAY	\$ 726.11
79904032147	2 Story MF	1	DANGELO, LUDWIG ALBERT	VERANDA II AT TREVISO BAY	\$ 726.11
79904032163	2 Story MF	1	LISOWSKI, MARTHA=& GARY	VERANDA II AT TREVISO BAY	\$ 726.11
79904032189	2 Story MF	1	PIRRONE, PAUL J=& JACLYN S	VERANDA II AT TREVISO BAY	\$ 726.11
79904032202	2 Story MF	1	MOUSSAWEL, DORA G	VERANDA II AT TREVISO BAY	\$ 726.11
79904032228	2 Story MF	1	RICE, JOHN M=& JANICE D	VERANDA II AT TREVISO BAY	\$ 726.11
79904032244	2 Story MF	1	FELDMAN, STEPHEN M	VERANDA II AT TREVISO BAY	\$ 726.11
79904032260	2 Story MF	1	ZIMMERMAN, SANDRA J	VERANDA II AT TREVISO BAY	\$ 726.11
79904032286	2 Story MF	1	PANSINI, TOMMASO	VERANDA II AT TREVISO BAY	\$ 726.11
79904032309	2 Story MF	1	ARMENIA LIVING TRUST	VERANDA II AT TREVISO BAY	\$ 726.11
79904032325	2 Story MF	1	MCCARTHY, MICHAEL C	VERANDA II AT TREVISO BAY	\$ 726.11
79904032341	2 Story MF	1	SCHERER, TIFFANY M	VERANDA II AT TREVISO BAY	\$ 726.11
79904032367	2 Story MF	1	RAYYAN, MICHAEL H=& SUSAN M	VERANDA II AT TREVISO BAY	\$ 726.11
79904032383	2 Story MF	1	MCALFEER, MATTHEW D=& CAROLYN T	VERANDA II AT TREVISO BAY	\$ 726.11
79904032406	2 Story MF	1	PAPPAS, ARTHUR A=& LAURIE	VERANDA II AT TREVISO BAY	\$ 726.11
79904032422	2 Story MF	1	PORTS, DONALD V=& GINGER L	VERANDA II AT TREVISO BAY	\$ 726.11
79904032448	2 Story MF	1	GKD ENTERPRISES OF FLORIDA LLC	VERANDA II AT TREVISO BAY	\$ 726.11
79904032464	2 Story MF	1	GUBISH, MARCIANNE	VERANDA II AT TREVISO BAY	\$ 726.11
79904033023	2 Story MF	1	GUGLIELMO, VESSELKA	VERANDA III AT TREVISO BAY	\$ 726.11
79904033049	2 Story MF	1	JUANITA FAYE KING TRUST	VERANDA III AT TREVISO BAY	\$ 726.11
79904033065	2 Story MF	1	DOYLE ET AL, JOHN LAWRENCE	VERANDA III AT TREVISO BAY	\$ 726.11
79904033081	2 Story MF	1	SIBUL, OLIVER JACQUES LUCIEN	VERANDA III AT TREVISO BAY	\$ 726.11
79904033104	2 Story MF	1	MATTEL, JAMES B=& PAMELA S	VERANDA III AT TREVISO BAY	\$ 726.11
79904033120	2 Story MF	1	MANZO, JOHN	VERANDA III AT TREVISO BAY	\$ 726.11
79904033146	2 Story MF	1	MCEVILY, JEROME=& SUSAN A	VERANDA III AT TREVISO BAY	\$ 726.11
79904033162	2 Story MF	1	3 R REALTY & INVSTMNT COMPANY	VERANDA III AT TREVISO BAY	\$ 726.11
79904033188	2 Story MF	1	SADOWSKI, JAMES=& DIANE	VERANDA III AT TREVISO BAY	\$ 726.11
79904033201	2 Story MF	1	VELTO, WILLIAM J=& DORIS	VERANDA III AT TREVISO BAY	\$ 726.11
79904033227	2 Story MF	1	MARK R & DIANE M CZARNECKI LIV	VERANDA III AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
79904033243	2 Story MF	1	3 R REALTY & INVESTMENT CO	VERANDA III AT TREVISO BAY	\$ 726.11
79904033269	2 Story MF	1	STOCK, JOHN R=& REBECCA J	VERANDA III AT TREVISO BAY	\$ 726.11
79904033285	2 Story MF	1	CARLA E COUNCILL TRUST	VERANDA III AT TREVISO BAY	\$ 726.11
79904033308	2 Story MF	1	SMITH, BILLY V=& PATRICIA A	VERANDA III AT TREVISO BAY	\$ 726.11
79904033324	2 Story MF	1	OBRIEN, PATRICIA M	VERANDA III AT TREVISO BAY	\$ 726.11
79904033340	2 Story MF	1	SHEA ET AL, CHRISTOPHER	VERANDA III AT TREVISO BAY	\$ 726.11
79904033366	2 Story MF	1	ROBERTSON, TOM=& DEANN	VERANDA III AT TREVISO BAY	\$ 726.11
79904033382	2 Story MF	1	TILLMAN, BRUCE D=& CYNTHIA M	VERANDA III AT TREVISO BAY	\$ 726.11
79904033405	2 Story MF	1	SMITH, M RYAN	VERANDA III AT TREVISO BAY	\$ 726.11
79904033421	2 Story MF	1	RAPHEL REVOCABLE TRUST	VERANDA III AT TREVISO BAY	\$ 726.11
79904033447	2 Story MF	1	FUHR, ELLIOT ALAN	VERANDA III AT TREVISO BAY	\$ 726.11
79904033463	2 Story MF	1	COLONNELLI, UMBERTO=& ROSA	VERANDA III AT TREVISO BAY	\$ 726.11
79904033489	2 Story MF	1	COLINNELLI, UMBERTO=& ROSA	VERANDA III AT TREVISO BAY	\$ 726.11
79904033502	2 Story MF	1	LYONS, ELIZABETH A	VERANDA III AT TREVISO BAY	\$ 726.11
79904033528	2 Story MF	1	SILVESTRI, JOHN A	VERANDA III AT TREVISO BAY	\$ 726.11
79904033544	2 Story MF	1	ULATE, FRANCISCO=& FAITH ANNE	VERANDA III AT TREVISO BAY	\$ 726.11
79904033560	2 Story MF	1	ROBERT SAARANEN TRUST	VERANDA III AT TREVISO BAY	\$ 726.11
79904033586	2 Story MF	1	ALMEIDA, CHRISTOPHER	VERANDA III AT TREVISO BAY	\$ 726.11
79904033609	2 Story MF	1	ROBERT W PALMER REV LIV TRUST	VERANDA III AT TREVISO BAY	\$ 726.11
79904033625	2 Story MF	1	STENROOS, RAYMOND=& CARMELA	VERANDA III AT TREVISO BAY	\$ 726.11
79904033641	2 Story MF	1	CR NAPLES LLC	VERANDA III AT TREVISO BAY	\$ 726.11
79904033667	2 Story MF	1	MCPIKE, TERENCE=& SIOBHAN	VERANDA III AT TREVISO BAY	\$ 726.11
79904033683	2 Story MF	1	BAMMEL, JAMES R	VERANDA III AT TREVISO BAY	\$ 726.11
79904033706	2 Story MF	1	MANCINELLI, JOHN E=& SHERYL A	VERANDA III AT TREVISO BAY	\$ 726.11
79904033722	2 Story MF	1	SCLAFANI, MICHAEL=& KIM	VERANDA III AT TREVISO BAY	\$ 726.11
79904033748	2 Story MF	1	MASELLI, ANDREW=& ABIGAIL	VERANDA III AT TREVISO BAY	\$ 726.11
79904033764	2 Story MF	1	DEBORAH A VITANTONIO TRUST	VERANDA III AT TREVISO BAY	\$ 726.11
79904033780	2 Story MF	1	MCNAMARA, JOHN T =& MARYELLEN	VERANDA III AT TREVISO BAY	\$ 726.11
79904033803	2 Story MF	1	POND, LINDA J	VERANDA III AT TREVISO BAY	\$ 726.11
79904033829	2 Story MF	1	NOONAN, PATRICK=& JUDITH A	VERANDA III AT TREVISO BAY	\$ 726.11
79904033845	2 Story MF	1	ROMANO, STEPHEN=& LEANE	VERANDA III AT TREVISO BAY	\$ 726.11
79904033861	2 Story MF	1	HAWKINSON, JAMES R=& MARIA B	VERANDA III AT TREVISO BAY	\$ 726.11
79904033887	2 Story MF	1	GORDON, MICHAEL ROBERT	VERANDA III AT TREVISO BAY	\$ 726.11
79904033900	2 Story MF	1	AVERY, GARY ROBERT	VERANDA III AT TREVISO BAY	\$ 726.11
79904033926	2 Story MF	1	CATHERINE BROOKS DEC OF TRUST	VERANDA III AT TREVISO BAY	\$ 726.11
79904033942	2 Story MF	1	PEIXOTO, PEDRO A=& CELIA C	VERANDA III AT TREVISO BAY	\$ 726.11
79904033968	2 Story MF	1	BONELLI III, LOUIS A=& JEAN A	VERANDA III AT TREVISO BAY	\$ 726.11
79904035021	2 Story MF	1	DEVITT, PATRICK J=& KAREN A	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035047	2 Story MF	1	FALCE, JOSEPH DOMINICK	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035063	2 Story MF	1	BEAUPARIANT, MICHAEL T	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035089	2 Story MF	1	1031 EXCHANGE CONNECTION INC	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035102	2 Story MF	1	SEMPRINI, WAYNE=& PAULETTE	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035128	2 Story MF	1	FLEMING, THOMAS M	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035144	2 Story MF	1	CASULLO, ROCCO	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035160	2 Story MF	1	MAGUIRE, JAMES=& CAROLYN	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035186	2 Story MF	1	WILLIAMS, DEBORAH G	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035209	2 Story MF	1	2524 AVELLINO WAY LLC	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035225	2 Story MF	1	HARRIMAN, LOIS	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035241	2 Story MF	1	JUERGENS FAMILY REV TRUST	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035267	2 Story MF	1	STOTSKY, SANDRA	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035283	2 Story MF	1	LEE, TINA=& SHERMAN C	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035306	2 Story MF	1	MOORE, CHRISTOPHER P	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035322	2 Story MF	1	ALIVERNINI, JOHN=& IRENE	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035348	2 Story MF	1	LEUNG, EUGENE	VERANDA IV AT TREVISO BAY	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
79904035364	2 Story MF	1	LAURA S SCHOENEMAN DECLARATION	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035380	2 Story MF	1	PUIDAK FAMILY TRUST	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035403	2 Story MF	1	CORDOVA, MANUEL	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035429	2 Story MF	1	HATER, THOMAS=& SILKE	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035445	2 Story MF	1	MORALES, RICHARD	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035461	2 Story MF	1	COLEEN KROHN REVOCABLE TRUST	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035487	2 Story MF	1	SPEZZANO. GARY	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035500	2 Story MF	1	LYONS, PATRICK=& ANNEMARIE	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035526	2 Story MF	1	GORAN STOJKOSKI & NANCY A	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035542	2 Story MF	1	POLLASTRINI, CHRISTOPHER G	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035568	2 Story MF	1	DEBRA E PLATT TRUST	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035584	2 Story MF	1	FOLEY, BRIAN E	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035607	2 Story MF	1	FUSARO, ROBERT J	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035623	2 Story MF	1	MAGERA, RENAE M	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035649	2 Story MF	1	SHEEHAN, DENNIS=& MARY JANE	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035665	2 Story MF	1	BOYLE, CORY G	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035681	2 Story MF	1	CEDARHILL AVELLINO 9529 LLC	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035704	2 Story MF	1	DONOVAN, JENNIFER LEE	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035720	2 Story MF	1	LALOGGIA TRUST AGREEMENT	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035746	2 Story MF	1	BRIAN C BOEVE FAMILY TRUST	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035762	2 Story MF	1	GENOVESE, CHRISTOPHER	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035788	2 Story MF	1	MILLER, DULCE M	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035801	2 Story MF	1	GILBERT, PAMELA B	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035827	2 Story MF	1	WAZFORD 2017 REALTY TRUST	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035843	2 Story MF	1	ROESCH, LISA M	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035869	2 Story MF	1	MASUCCI, ANTHONY B=& LISA A	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035885	2 Story MF	1	KHALIL, MAHMOUD F	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035908	2 Story MF	1	CAMPBELL, RICHARD=& MAUREEN F	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035924	2 Story MF	1	LAFRENIERE, RICHARD J	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035940	2 Story MF	1	KOCIS II, WILLIAM=& BERNADETTE	VERANDA IV AT TREVISO BAY	\$ 726.11
79904035966	2 Story MF	1	PBA NAP 1 LLC	VERANDA IV AT TREVISO BAY	\$ 726.11
79904070028	Z - Common	0	WENTWORTH ESTATES COMMUNITY	VERCELLI TRACT C-1	\$ -
79904070044	Z - Common	0	WENTWORTH ESTATES COMMUNITY	VERCELLI TRACT C-2	\$ -
79904070060	Z - Common	0	TREVISO BAY PROPERTY OWNERS	VERCELLI TRACT C-3	\$ -
79904070086	Z - Common	0	TREVISO BAY PROPERTY OWNERS	VERCELLI TRACT C-4	\$ -
79904070109	Z - Common	0	LENNAR HOMES LLC	VERCELLI TRACT FD-1 LESS THAT	\$ -
79904070206	Z - Common	0	TREVISO BAY PROPERTY OWNERS	VERCELLI THAT PORTION OF TRACT	\$ -
79904070604	Z - Common	0	WENTWORTH ESTATES COMMUNITY	VERCELLI TRACT L-1	\$ -
79904070620	Z - Common	0	WENTWORTH ESTATES COMMUNITY	VERCELLI TRACT L-2	\$ -
79904070646	Z - Common	0	WENTWORTH ESTATES COMMUNITY	VERCELLI TRACT L-3	\$ -
79904070662	Z - Common	0	WENTWORTH ESTATES CDD	VERCELLI TRACT L-4	\$ -
79904070688	Z - Common	0	WENTWORTH ESTATES COMMUNITY	VERCELLI TRACT L-5	\$ -
79904070701	Z - Common	0	WENTWORTH ESTATES LLC	VERCELLI TRACT R-1	\$ -
79904070727	Z - Common	0	TREVISO BAY PROPERTY OWNERS	VERCELLI TRACT R-2	\$ -
79904070743	Z - Common	0	TREVISO BAY PROPERTY OWNERS	VERCELLI TRACT R-4	\$ -
79904070769	60	1	GAYES, JAMES M =& DIANE M	VERCELLI LOT 1	\$ 726.11
79904070785	60	1	PARKER, FRANK=& BETTYE	VERCELLI LOT 2	\$ 726.11
79904070808	60	1	BOTTS, TIMOTHY J=& CHERYL A	VERCELLI LOT 3	\$ 726.11
79904070824	60	1	MCKEOWN, KATHLEEN M	VERCELLI LOT 4	\$ 726.11
79904070840	60	1	RICE, MARTHA B	VERCELLI LOT 5	\$ 726.11
79904070866	60	1	HOPP, MELINDA S	VERCELLI LOT 6	\$ 726.11
79904070882	60	1	HERING, JOSEPH=& ROBERTA	VERCELLI LOT 7	\$ 726.11
79904070905	60	1	MUSSO, PIERO=& KIMBERLY M	VERCELLI LOT 8	\$ 726.11
79904070921	60	1	NAPOLI, JOSEPH D=& DOREEN A	VERCELLI LOT 9	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
79904070947	60	1	DREW, MARK S=& JAYNE M	VERCELLI LOT 10	\$ 726.11
79904070963	60	1	2013 BEINGESSNER FAMILY TRUST	VERCELLI LOT 11	\$ 726.11
79904070989	60	1	CARRAGINO, ARTHUR=& JENNIFER	VERCELLI LOT 12	\$ 726.11
79904071001	60	1	AHASIC, GARY	VERCELLI LOT 13	\$ 726.11
79904071027	60	1	VILA NOVA INC	VERCELLI LOT 14	\$ 726.11
79904071043	60	1	BARGER, STEPHEN M=& KATHLEEN L	VERCELLI LOT 15	\$ 726.11
79904071069	60	1	MOEN, DONALD	VERCELLI LOT 16	\$ 726.11
79904071085	60	1	LYNCH, WILLIAM=& NANCY	VERCELLI LOT 17	\$ 726.11
79904071108	60	1	ALFANO, NICHOLAS J=& KAREN A	VERCELLI LOT 18	\$ 726.11
79904071124	60	1	PSARIS, LAWRENCE=& CATHERINE	VERCELLI LOT 19	\$ 726.11
79904071140	60	1	GROVESTEN, PHILIP L	VERCELLI LOT 20	\$ 726.11
79904071166	60	1	MILES, CATHERINE A=& PETER H	VERCELLI LOT 21	\$ 726.11
79904071182	60	1	GREGG N BEDELL REV TRUST	VERCELLI LOT 22	\$ 726.11
79904071205	60	1	NEFF JR, HOWARD V	VERCELLI LOT 23	\$ 726.11
79904071221	60	1	PETRONE, ANTHONY=& ANNETTE	VERCELLI LOT 24	\$ 726.11
79904071247	60	1	PASCH, TERRENCE M	VERCELLI LOT 25	\$ 726.11
79904071263	60	1	PUSATERI, JOHN M=& DEBRA A	VERCELLI LOT 26	\$ 726.11
79904071289	60	1	DARREL T ANTONELLI REV TRUST	VERCELLI LOT 27	\$ 726.11
79904071302	60	1	RIEGL, INGRID	VERCELLI LOT 28	\$ 726.11
79904071328	60	1	FIORANI, GERALD=& VICTORIA	VERCELLI LOT 29	\$ 726.11
79904071344	60	1	9364 VERCELLI CT LAND TRUST	VERCELLI LOT 30	\$ 726.11
79904071360	60	1	BUNEGAR, JAMES G	VERCELLI LOT 31	\$ 726.11
79904071386	60	1	9372 VERCELLI COURT LAND TRUST	VERCELLI LOT 32	\$ 726.11
79904071409	60	1	ROSSI, CHRISTOPHER	VERCELLI LOT 33	\$ 726.11
79904071483	60	1	JOSEPH GABRIEL RUGGIERO AND	VERCELLI LOT 37	\$ 726.11
79904071506	60	1	WEGENER IRREV PROPERTY TRUST	VERCELLI LOT 38	\$ 726.11
79904071564	60	1	DISALVO, LEONARD=& GUYLAINE	VERCELLI LOT 41	\$ 726.11
79904071580	60	1	COX, LISA J=& SHAWN P	VERCELLI LOT 42	\$ 726.11
79904071603	60	1	POZZOBON ET AL, DAVE=& GISELE	VERCELLI LOT 43	\$ 726.11
79904071629	60	1	LANG, SHERRY L	VERCELLI LOT 44	\$ 726.11
79904071645	60	1	MAHONEY, MICHAEL J	VERCELLI LOT 45	\$ 726.11
79904071661	60	1	KLIMKIEWICZ, ANTHONY	VERCELLI LOT 46	\$ 726.11
79904071687	60	1	RONALD N CHAMPAGNE REV TRUST	VERCELLI LOT 47	\$ 726.11
79904071700	60	1	COLONNELLI, UMBERTO=& ROSA	VERCELLI LOT 48	\$ 726.11
79904071726	60	1	PERLA, SALVATORE=& KELLEY	VERCELLI LOT 49	\$ 726.11
79904071742	60	1	BAKER, KEVIN M=& JULIE A	VERCELLI LOT 50	\$ 726.11
79904071768	60	1	KING, LINDA KATHLEEN	VERCELLI LOT 51	\$ 726.11
79904071784	60	1	CESANDER, LAURENCE P	VERCELLI LOT 52	\$ 726.11
79904071807	60	1	CLARK, JOHN J=& MARIE T	VERCELLI LOT 53	\$ 726.11
79904071823	60	1	BOSCH, VIVIAN	VERCELLI LOT 54	\$ 726.11
79904071849	60	1	DIZON SUNCHINE PROPERTIES LLC	VERCELLI LOT 55	\$ 726.11
79904071865	60	1	SELES, ESTER	VERCELLI LOT 56	\$ 726.11
79904071881	60	1	EAGAN, GERALD=& IRENE J	VERCELLI LOT 57	\$ 726.11
79904071904	60	1	NASSAR, RICHARD=& TECLA	VERCELLI LOT 58	\$ 726.11
79904071920	60	1	SCHILT, PAUL U=& ROSEMARI R	VERCELLI LOT 59	\$ 726.11
79904071946	60	1	STRATIENKO, ALEXANDER A	VERCELLI LOT 60	\$ 726.11
79904071962	60	1	DECKER, LAWRENCE A	VERCELLI LOT 61	\$ 726.11
79904071988	60	1	HAGAN, STEPHEN G	VERCELLI LOT 62	\$ 726.11
79904072000	60	1	LACHNICHT, CYNTHIA A	VERCELLI LOT 63	\$ 726.11
79904072026	60	1	SCULLIN, TIMOTHY	VERCELLI LOT 64	\$ 726.11
79904072042	60	1	RITTER, RICHARD P=& SUSAN M	VERCELLI LOT 65	\$ 726.11
79904072068	60	1	SHEEHAN, DENNIS=& MARY JANE	VERCELLI LOT 66	\$ 726.11
79904072084	60	1	BENJAMIN R MINTZ REV TRUST	VERCELLI LOT 67	\$ 726.11
79904072107	60	1	BOSSON, MICHAEL=& HELGA	VERCELLI LOT 68	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
79904072123	60	1	BALLAND, LAUREL L ANDRESON	VERCELLI LOT 69	\$ 726.11
79904072149	60	1	ROBINSON, JOHN BRUCE	VERCELLI LOT 70	\$ 726.11
79904072165	60	1	ROHIT R SHAH DEC TRUST	VERCELLI LOT 71	\$ 726.11
79904072181	60	1	DEPRAIDA, STEPHEN=& MARY	VERCELLI LOT 72	\$ 726.11
79904072204	60	1	MICHAEL & JULIE SHIELDS TRUST	VERCELLI LOT 73	\$ 726.11
79904072220	60	1	REBIMBAS, JOSE D=& ESMERALDA G	VERCELLI LOT 74	\$ 726.11
79904072246	60	1	ARG PROPERTIES LLC	VERCELLI LOT 75	\$ 726.11
79904072262	60	1	DERIS, JOHN=& EILEEN	VERCELLI LOT 76	\$ 726.11
79904072327	60	1	HEISE, ARTHUR G=& ANNEMARIE	VERCELLI REPLAT	\$ 726.11
79904072343	60	1	COSTANZO, GARY P=& LEAH B	VERCELLI REPLAT	\$ 726.11
79904072369	60	1	G F BIRCHMEIER TRUST	VERCELLI REPLAT	\$ 726.11
79904072385	60	1	FL GREEN FLASH LLC	VERCELLI REPLAT	\$ 726.11
79904072408	60	1	BAKER, SCOTT=& KRISTI	VERCELLI REPLAT	\$ 726.11
79905000026	Z - Common	0	VIA VENETO AT TREVISO BAY	VIA VENETO TRACT C-1	\$ -
79905000042	Z - Common	0	VIA VENETO AT TREVISO BAY	VIA VENETO TRACT C-2	\$ -
79905000068	Z - Common	0	VIA VENETO AT TREVISO BAY	VIA VENETO TRACT C-3	\$ -
79905000084	Z - Common	0	VIA VENETO AT TREVISO BAY	VIA VENETO TRACT C-4	\$ -
79905000107	Z - Common	0	TREVISO BAY PROPERTY OWNERS	VIA VENETO TRACT C-5	\$ -
79905000123	Z - Common	0	WENTWORTH ESTATES CDD	VIA VENETO TRACT L-1	\$ -
79905000149	Z - Common	0	WENTWORTH ESTATES COMMUNITY	VIA VENETO TRACT L-2	\$ -
79905000165	Z - Common	0	VIA VENETO AT TREVISO BAY	VIA VENETO TRACT R-3	\$ -
79905000181	50	1	KULL, THOMAS R=& GERARDA F	VIA VENETO LOT 1 (HO)	\$ 726.11
79905000204	50	1	VIA VENETO LOT 2 LLC	VIA VENETO LOT 2 (HO)	\$ 726.11
79905000220	50	1	RUDOLPH, PAUL ARTHUR	VIA VENETO LOT 3 (HO)	\$ 726.11
79905000246	50	1	MARRONE, PHILIP=& NANCY D	VIA VENETO LOT 4 (HO)	\$ 726.11
79905000262	50	1	JOSEPH ANTHONY CARUSO TRUST	VIA VENETO LOT 5 (HO)	\$ 726.11
79905000288	50	1	BURD, TERENCE=& COLLETTE	VIA VENETO LOT 6 (HO)	\$ 726.11
79905000301	50	1	CATHLEEN M CONFORTI REV TRUST	VIA VENETO LOT 7 (HO)	\$ 726.11
79905000327	50	1	THEODORE W BEATY REV TRUST	VIA VENETO LOT 8 (HO)	\$ 726.11
79905000343	50	1	ZUMSTEIN, ALAN M=& LISA B	VIA VENETO LOT 9 (HO)	\$ 726.11
79905000369	50	1	FERGUSON, JAMES CLAY	VIA VENETO LOT 10 (HO)	\$ 726.11
79905000385	50	1	RAYMOND, DAVID M D=& GAIL W	VIA VENETO LOT 11 (HO)	\$ 726.11
79905000408	50	1	DGR FAMILY INVESTMENTS LLC	VIA VENETO LOT 12 (HO)	\$ 726.11
79905000424	50	1	KAMPERS, STEPHEN ROSS	VIA VENETO LOT 13 (HO)	\$ 726.11
79905000440	50	1	GEAUX TIME PROPERTIES LLC	VIA VENETO LOT 14 (HO)	\$ 726.11
79905000466	50	1	NITZ, RONALD LEE	VIA VENETO LOT 15 (HO)	\$ 726.11
79905000482	50	1	SALAH ABDELATI LIV TRUST	VIA VENETO LOT 16 (HO)	\$ 726.11
79905000505	50	1	VIA MAUTINO LLC	VIA VENETO LOT 17 (HO)	\$ 726.11
79905000521	50	1	BRADCO TRUST	VIA VENETO LOT 18 (HO)	\$ 726.11
79905000547	50	1	GEVANTHOR, ELENA	VIA VENETO LOT 19 (HO)	\$ 726.11
79905000563	50	1	MARTIN, NANCY	VIA VENETO LOT 20 (HO)	\$ 726.11
79905000589	50	1	EDMUNDS, JAMES R=& DEBORAH ANN	VIA VENETO LOT 21 (HO)	\$ 726.11
79905000602	50	1	MITCHELL G LEONARD REV TRUST	VIA VENETO LOT 22 (HO)	\$ 726.11
79905000628	50	1	GLENNON, LAWRENCE=& KATHY	VIA VENETO LOT 23 (HO)	\$ 726.11
79905000644	50	1	HILLIER, CARL B=& VICKI J	VIA VENETO LOT 24 (HO)	\$ 726.11
79905000660	50	1	LESLEE ANNE FIELDING LIV TRUST	VIA VENETO LOT 25 (HO)	\$ 726.11
79905000686	50	1	ALAN MICHAEL FREEDMAN TRUST	VIA VENETO LOT 26 (HO)	\$ 726.11
79905000709	50	1	CAMP, JEFFREY S=& JULIE ANN	VIA VENETO LOT 27 (HO)	\$ 726.11
79905000725	50	1	RALPH C & ASTRID CONNIT TRUST	VIA VENETO LOT 28 (HO)	\$ 726.11
79905000741	50	1	ZOTTER, PAUL=& NINA G	VIA VENETO LOT 29 (HO)	\$ 726.11
79905000783	50	1	LIDER, ROBERT YAMINS=& LISA F	VIA VENETO LOT 31 (HO)	\$ 726.11
79905000806	50	1	MOULTON, JOSHUA L=& AMANDA	VIA VENETO LOT 32 (HO)	\$ 726.11
79905000848	50	1	KODEIS PROPERTIES LLC	VIA VENETO LOT 34 (HO)	\$ 726.11
79905000864	50	1	MORALES, RICHARD	VIA VENETO LOT 35 (HO)	\$ 726.11

**Wentworth Estates Community Development District
Assessment Roll - Fiscal Year 2022**

Table 1

Parcel ID	Unit Type	Units	Owner	Legal Description	O&M
79905000880	50	1	PACANOVSKY, MATTHEW	VIA VENETO LOT 36 (HO)	\$ 726.11
79905000903	50	1	STUSICK, MICHAEL JOSEPH	VIA VENETO LOT 37 (HO)	\$ 726.11
79905000929	50	1	MARINI LIVING TRUST	VIA VENETO LOT 38 (HO)	\$ 726.11
79905000945	50	1	VENETO TPC LLC	VIA VENETO LOT 39 (HO)	\$ 726.11
79905000961	50	1	DUGGAN JR, CLAYTON J	VIA VENETO LOT 40 (HO)	\$ 726.11
79905000987	50	1	CHECCA FAMILY REVOCABLE TRUST	VIA VENETO LOT 41 (HO)	\$ 726.11
79905001009	50	1	PERLEE, WILLIAM H=& LORAH T	VIA VENETO LOT 42 (HO)	\$ 726.11
79905001025	50	1	BIANCHI, CHARLES=& PATRICIA	VIA VENETO LOT 43 (HO)	\$ 726.11
79905001041	50	1	RAYMOND D DUFRESNE & KATHLEEN	VIA VENETO LOT 44 (HO)	\$ 726.11
79905001067	50	1	MATTHEW & KATE LIEGEL TRUST	VIA VENETO LOT 45 (HO)	\$ 726.11
79905001083	50	1	JOHNSON, WESLEY H=& KATHLEEN D	VIA VENETO LOT 46 (HO)	\$ 726.11
79905001106	50	1	FELICE, RICHARD D=& MARNELL K	VIA VENETO LOT 47 (HO)	\$ 726.11
79905002024	Z - Common	0	VIA VENETO AT TREVISO BAY	VIA VENETO LOTS 30 AND 33	\$ -
79905002040	Z - Common	0	VIA VENETO AT TREVISO BAY	VIA VENETO LOTS 30 AND 33	\$ -
79905002066	50	1	ANTONUCCI, CHRISTOPHER D	VIA VENETO LOTS 30 AND 33	\$ 726.11
79905002105	50	1	KODEIS PROPERTIES LLC	VIA VENETO LOTS 30 AND 33	\$ 726.11
TOTAL		1432			\$ 1,062,105.79



MBS CAPITAL MARKETS, LLC

AGREEMENT FOR UNDERWRITING SERVICES WENTWORTH ESTATES COMMUNITY DEVELOPMENT DISTRICT

June 10, 2021

Board of Supervisors
Wentworth Estates Community Development District

Dear Supervisors:

MBS Capital Markets, LLC (the "Underwriter") offers to enter into this agreement (the "Agreement") with the Wentworth Estates Community Development District (the "District") which, upon your acceptance of this offer, will be binding upon the District and the Underwriter. This agreement relates to the proposed issuance of bonds (the "Bonds") for the purpose of refunding the District's outstanding Series 2018 Bonds (the "Prior Bonds"). This Agreement will cover the engagement for the Bonds and will be supplemented for future bond issuances as may be applicable.

1. **Scope of Services:** MBS intends to serve as the underwriter, and not as a financial advisor or municipal advisor, in connection with the issuance of the Bonds. The scope of services to be provided in a non-fiduciary capacity by the Underwriter for this transaction will include those listed below.
 - Advice regarding the structure, timing, terms, and other similar matters concerning the particular municipal securities described above.
 - Preparation of rating strategies and presentations related to the issue being underwritten.
 - Preparations for and assistance with investor "road shows," if any, and investor discussions related to the issue being underwritten.
 - Advice regarding retail order periods and institutional marketing if the District decides to engage in a negotiated sale.
 - Assistance in the preparation of the Preliminary Official Statement, if any, and the Final Official Statement.
 - Assistance with the closing of the issue, including negotiation and discussion with respect to all documents, certificates, and opinions needed for the closing.
 - Coordination with respect to obtaining CUSIP numbers and the registration with the Depository Trust Company.
 - Preparation of post-sale reports for the issue, if any.
 - Structuring of refunding escrow cash flow requirements, but not the recommendation of and brokerage of particular municipal escrow investments.



MBS CAPITAL MARKETS, LLC

- Fees:** The Underwriter will be responsible for its own out-of-pocket expenses other than the fees and disbursements of underwriter's or disclosure counsel which fees shall be paid from the proceeds of the Bonds. Any fees payable to the Underwriter will be contingent upon the successful sale and delivery or placement of the Bonds. The underwriting fee for the sale or placement of the Bonds will be 1.0% of the total par amount of Bonds issued.

The Underwriter shall also bear the cost of obtaining an investment grade rating with the actual cost of the rating to be paid from the proceeds of the Bonds only to the extent Bonds are issued.

- Termination:** Both the District and the Underwriter will have the right to terminate this Agreement without cause upon 90 days written notice to the non-terminating party.
- Purchase Contract:** At or before such time as the District gives its final authorization for the Bonds, the Underwriter and its counsel will deliver to the District a purchase or placement contract (the "Purchase Contract") detailing the terms of the Bonds.
- Notice of Meetings:** The District shall provide timely notice to the Underwriter for all regular and special meetings of the District. The District will provide, in writing, to the Underwriter, at least one week prior to any meeting, except in the case of an emergency meeting for which the notice time shall be the same as that required by law for the meeting itself, of matters and items for which it desires the Underwriter's input.
- Disclosures Concerning the Underwriter's Role Required by MSRB Rule G-17.** The Municipal Securities Rulemaking Board's Rule G-17 requires underwriters to make certain disclosures to issuers in connection with the issuance of municipal securities. Those disclosures are attached hereto as "Exhibit A." By execution of this Agreement, you are acknowledging receipt of the same. If you or any other Issuer officials have any questions or concerns about these disclosures, please make those questions or concerns known immediately to the undersigned. In addition, you should consult with the Issuer's own financial and/or municipal, legal, accounting, tax and other advisors, as applicable, to the extent you deem appropriate. It is our understanding that you have the authority to bind the Issuer by contract with us, and that you are not a party to any conflict of interest relating to the subject transaction. If our understanding is incorrect, please notify the undersigned immediately.



MBS CAPITAL MARKETS, LLC

This Agreement shall be effective upon your acceptance hereof and shall remain effective until such time as the Agreement has been terminated in accordance with Section 3 hereof.

We are required to seek your acknowledgement that you have received the disclosures referenced herein and attached hereto as Exhibit A. By execution of this agreement, you are acknowledging receipt of the same.

Sincerely,
MBS Capital Markets, LLC

A handwritten signature in blue ink, appearing to read "Brett Sealy", is positioned above a horizontal line.

Brett Sealy
Managing Partner

Approved and Accepted By: _____

Title: _____

Date: _____



MBS CAPITAL MARKETS, LLC

EXHIBIT A

Disclosures Concerning the Underwriter's Role

- (i) MSRB Rule G-17 requires an underwriter to deal fairly at all times with both municipal issuers and investors.
- (ii) The underwriter's primary role is to purchase the Bonds with a view to distribution in an arm's-length commercial transaction with the Issuer. The underwriters has financial and other interests that differ from those of the District.
- (iii) Unlike a municipal advisor, the underwriter does not have a fiduciary duty to the District under the federal securities laws and are, therefore, is required by federal law to act in the best interests of the District without regard to their own financial or other interests.
- (iv) The underwriter has a duty to purchase the Bonds from the Issuer at a fair and reasonable price but must balance that duty with their duty to sell the Bonds to investors at prices that are fair and reasonable.
- (v) The underwriter will review the official statement for the Bonds in accordance with, and as part of, its respective responsibilities to investors under the federal securities laws, as applied to the facts and circumstances of this transaction.

Disclosure Concerning the Underwriter's Compensation

The underwriter will be compensated by a fee and/or an underwriting discount that will be set forth in the bond purchase agreement to be negotiated and entered into in connection with the issuance of the Bonds. Payment or receipt of the underwriting fee or discount will be contingent on the closing of the transaction and the amount of the fee or discount may be based, in whole or in part, on a percentage of the principal amount of the Bonds. While this form of compensation is customary in the municipal securities market, it presents a conflict of interest since the underwriter may have an incentive to recommend to the District a transaction that is unnecessary or to recommend that the size of the transaction be larger than is necessary.

Conflicts of Interest

The Underwriter has not identified any additional potential or actual material conflicts that require disclosure including those listed below.

Payments to or from Third Parties. There are no undisclosed payments, values, or credits to be received by the Underwriter in connection with its underwriting of this new issue from parties other than the District, and there are no undisclosed payments to be made by the Underwriter in connection with this new issue to parties other than the District (in either case including payments, values, or credits that relate directly or indirectly to collateral transactions integrally related to the issue being underwritten). In addition, there are no third-party arrangements for the marketing of the District's securities.



MBS CAPITAL MARKETS, LLC

Profit-Sharing with Investors. There are no arrangements between the Underwriter and an investor purchasing new issue securities from the Underwriter (including purchases that are contingent upon the delivery by the District to the Underwriter of the securities) according to which profits realized from the resale by such investor of the securities are directly or indirectly split or otherwise shared with the Underwriter.

Credit Default Swaps. There will be no issuance or purchase by the Underwriter of credit default swaps for which the reference is the District for which the Underwriter is serving as underwriter, or an obligation of that District.

Retail Order Periods. For new issues in which there is a retail order period, the Underwriter will honor such agreement to provide the retail order period. No allocation of securities in a manner that is inconsistent with a District's requirements will be made without the District's consent. In addition, when the Underwriter has agreed to underwrite a transaction with a retail order period, it will take reasonable measures to ensure that retail clients are bona fide.

Dealer Payments to District Personnel. Reimbursements, if any, made to personnel of the District will be made in compliance with MSRB Rule G-20, on gifts, gratuities, and non-cash compensation, and Rule G-17, in connection with certain payments made to, and expenses reimbursed for, District personnel during the municipal bond issuance process.

Disclosures Concerning Complex Municipal Securities Financing

Since the Underwriter has not recommended a "complex municipal securities financing" to the Issuer, additional disclosures regarding the financing structure for the Bonds are not required under MSRB Rule G-17.



Memorandum

Date: June 1, 2021
To: James P. Ward - District Manager
From: Bruce Bernard - Field Asset Manager
Subject: Wentworth Estates CDD – May 2021 Report
CGA Project #: 17-980

Lake Maintenance

The CDD's lake bank restoration vendor (Landshore Enterprises) has completed the required lake bank restoration at Lakes 19, 20, and 24 in the Bella Firenze neighborhood. The restoration entailed geo-tube installation, re-grading of the lake bank slope, installation of coconut matting over the graded slope, and sodding / re-sodding of the restored area(s).

Crosscreek Environmental planted 2,000 wetland plants this month along the residential sides of Lake 19 in the Bella Firenze neighborhood and within Lake 15 in the Trevi neighborhood (southeastern end) to create a barrier along the shoreline.

Main Entrance

CDD staff has approved the proposal from its landscape maintenance vendor (Mainscape) to improve the plantings along and within the eastern end of the entrance. This proposal also includes adding additional plantings on both sides of the wall on the CDD's eastern property at the entrance, removal of flagpole supports adjacent to the sidewalk at the entrance, and replacing plantings along the frontage wall on Tamiami Trail.

Trafford Painting has completed the wall painting, an approximate 140 linear foot section on the eastern end of the CDD frontage wall.

Civil Engineering/Roadway
& Highway Design
Coastal Engineering
Code Enforcement
Construction Engineering
& Inspection (CEI)
Construction Services
Contract Government
Services
Data Technologies &
Development
Electrical Engineering
Emergency Management
Engineering
Environmental Services
Facilities Management
Geographic Information
Systems (GIS)
Indoor Air Quality
Land Development
Landscape Architecture
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Suite 600
Fort Lauderdale, FL
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WENTWORTH ESTATES COMMUNITY DEVELOPMENT DISTRICT



FINANCIAL STATEMENTS - APRIL 2021

FISCAL YEAR 2021

PREPARED BY:

JPWARD & ASSOCIATES, LLC, 2301 NORTHEAST 37TH STREET, FORT LAUDERDALE, FL 33308

T: 954-658-4900 E: JimWard@JPWardAssociates.com

Wentworth Estates Community Development District

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JPWard & Associates LLC

2301 Northeast 37th Street

Fort Lauderdale, Florida 33308

Phone: (954) 658-4900

Wentworth Estates Community Development District
Balance Sheet
for the Period Ending April 30, 2021

	Governmental Funds				Totals (Memorandum Only)
	Account Groups				
	General Fund	Debt Service Fund Series 2018	General Long Term Debt	Fixed Assets	
Assets					
Cash and Investments					
General Fund - Invested Cash	\$ -	\$ -	\$ -	---	\$ -
General Fund - Hancock Bank	\$ 771,390				\$ 771,390
Construction Account	-	-	-		-
Debt Service Fund					
Interest Account	-	440,925	-		440,925.01
Sinking Account	-	1,065,000	-		1,065,000.00
Reserve Account	-	579,988	-		579,988.13
Revenue	-	807,488	-		807,488.00
Prepayment Account	-	-	-		-
Deferred Cost Account	-	-	-		-
Capital Project Fund - Series 2018					
Due from Other Funds					
General Fund	-	49,351	-		49,350.97
Debt Service Fund(s)	-	-	-		-
Market Valuation Adjustments					
Accrued Interest Receivable					
Assessments Receivable					
Prepaid Expenses					
Amount Available in Debt Service Funds	-	-	2,942,752		2,942,752.11
Amount to be Provided by Debt Service Funds	-	-	20,182,248		20,182,247.89
Investment in General Fixed Assets (net of depreciation)	-	-	-	45,257,809	45,257,809.00
Total Assets	\$ 771,390	\$ 2,942,752	\$ 23,125,000	\$ 45,257,809	\$ 72,096,951

Wentworth Estates Community Development District
Balance Sheet
for the Period Ending April 30, 2021

	Governmental Funds				Totals (Memorandum Only)
	General Fund	Debt Service Fund Series 2018	Account Groups		
			General Long Term Debt	Fixed Assets	
Liabilities					
Accounts Payable & Payroll Liabilities	\$ -	\$ -	\$ -		-
Due to Other Funds					-
General Fund	-				-
Debt Service Fund(s)	49,351				49,351
Loan - TB Master Turnover, Inc.	-				-
Due to Bondholders					-
Bonds Payable					-
Current Portion	-	-	1,065,000		1,065,000
Long Term	-	-	22,060,000		22,060,000
Matured Bonds Payable	-	-	-		-
Matured Interest Payable	-	-	-		-
Total Liabilities	\$ 49,351	\$ -	\$ 23,125,000	\$ -	\$ 23,174,351
Fund Equity and Other Credits					
Investment in General Fixed Assets	-	-	-	45,257,809	45,257,809.00
Fund Balance					
Restricted					
Beginning: October 1, 2020 (Audited)	-	1,432,432	-		1,432,431.85
Results from Current Operations	-	1,510,320	-		1,510,320.26
Unassigned					-
Beginning: October 1, 2020 (Audited)	141,322	-	-		141,322.00
Results from Current Operations	580,717	-	-		580,717.21
Total Fund Equity and Other Credits	\$ 722,039	\$ 2,942,752	\$ -	\$ 45,257,809	\$ 48,922,600
Total Liabilities, Fund Equity and Other Credits	\$ 771,390	\$ 2,942,752	\$ 23,125,000	\$ 45,257,809	\$ 72,096,951

Prepared by:

JPWARD and Associates, LLC

Wentworth Estates Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2021

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Carryforward	-	-	-	-	-	-	-	-	0	
Interest										
Interest - General Checking	-	-	-	-	-	-	-	-	0	N/A
Special Assessment Revenue										
Special Assessments - On-Roll	5,580	449,362	469,902	65,756	30,072	11,603	14,703	1,046,978	1,052,325	99%
Special Assessments - Off-Roll	-	-	-	-	-	-	-	-	0	N/A
Miscellaneous Revenue										
	-	-	-	-	-	-	-	-	0	N/A
Intergovernmental Transfers In										
	-	-	-	-	-	-	-	-	-	
Total Revenue and Other Sources:	5,580	449,362	\$469,902	\$65,756	\$30,072	\$11,603	\$14,703	1,046,978	\$ 1,052,325	99%
Expenditures and Other Uses										
Legislative										
Board of Supervisor's - Fees	-	1,000	-	-	-	-	800	1,800	4,000	45%
Board of Supervisor's - Taxes	-	-	-	-	-	-	-	-	-	N/A
Executive										
Professional Management	4,167	4,167	4,167	4,167	4,167	4,167	4,167	29,167	50,000	58%
Financial and Administrative										
Audit Services	-	-	3,000	-	-	1,800	-	4,800	4,700	102%
Accounting Services	1,333	1,333	1,333	1,333	1,333	1,333	1,333	9,333	16,000	58%
Assessment Roll Services	667	667	667	667	667	667	667	4,667	8,000	58%
Assessment Methodology Services	-	-	-	-	-	-	-	-	-	N/A
Arbitrage Rebate Services	-	-	-	-	-	-	-	-	500	0%
Other Contractual Services										
Recording and Transcription	-	-	-	-	-	-	-	-	-	N/A
Legal Advertising	322	-	-	-	-	-	-	322	2,900	11%
Trustee Services	-	-	-	-	-	-	-	-	8,400	0%
Dissemination	-	-	-	-	-	-	-	-	5,000	0%
Property Appraiser/Tax Collector Fees	19,909	-	-	-	-	(12,986)	-	6,922	25,000	28%
Bank Service Charges	30	39	-	-	-	-	-	69	800	9%
Travel and Per Diem										
	-	-	-	-	-	-	-	-	-	N/A
Communications & Freight Services										

Wentworth Estates Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2021

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Telephone	-	-	-	-	-	-	-	-	-	N/A
Postage, Freight & Messenger	16	-	58	258	-	51	9	391	600	65%
Insurance	-	-	47,241	-	-	-	-	47,241	60,000	79%
Printing & Binding	-	107	-	-	-	159	-	266	500	53%
Website Development	50	50	50	50	50	50	50	350	1,200	29%
Subscription & Memberships	175	-	-	-	-	-	-	175	175	100%
Legal Services										
Legal - General Counsel	263	-	670	1,295	-	490	1,418	4,135	10,000	41%
Legal - Foreclosure Counsel	-	-	-	-	-	-	-	-	-	N/A
Legal - Tax Counsel	-	-	-	-	-	-	-	-	-	N/A
Legal - Bond/Disclosure Counsel	-	-	-	-	-	-	-	-	-	N/A
Other General Government Services										
Engineering Services - General	-	-	-	-	888	-	375	1,263	12,000	11%
Engineering Services - Assets	-	-	-	-	-	-	-	-	9,000	0%
Appraisal Services	-	-	-	-	-	1,500	-	1,500	-	N/A
Contingencies	-	-	-	-	-	-	-	-	-	N/A
Sub-Total:	26,931	7,363	57,186	7,769	7,104	(2,770)	8,818	112,401	218,775	51%
Stormwater Management Services										
Professional Services										
Asset Management	4,273	-	4,375	-	4,375	-	-	13,023	37,000	35%
NPDES Reporting	3,425	4,375	-	4,375	-	-	-	12,175	2,000	609%
Utility Services										
Electric - Aeration System	-	-	-	-	-	-	-	-	-	N/A
Repairs & Maintenance										
Lake & Wetland System										
Aquatic Weed Control	8,118	5,500	-	11,000	5,500	-	11,000	41,118	64,800	63%
Lake Bank Maintenance	-	-	-	-	-	1,950	-	1,950	3,000	65%
Water Quality Testing	-	-	-	-	-	-	-	-	14,000	0%
Water Control Structures	-	-	4,330	13,200	-	-	-	17,530	26,000	67%
Wetland System										
Routine Maintenance	1,765	2,899	-	5,798	2,899	-	9,698	23,060	34,800	66%
Water Quality Testing	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay										

Prepared by:

JPWARD and Associates, LLC

Wentworth Estates Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2021

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Aeration System	-	-	-	7,240	-	-	-	7,240	-	N/A
Littoral Shelf Replanting	4,550	-	-	-	-	-	-	4,550	-	N/A
Fountain Replacement (in Lakes)	-	-	-	-	-	-	-	-	10,000	0%
Lake Bank Restoration	-	1,450	4,681	2,485	14,794	32,341	39,268	95,019	252,450	38%
Erosion Restoration	-	-	-	-	6,375	-	-	6,375	12,000	53%
Contingencies	-	10,500	-	-	-	-	-	10,500	15,000	70%
Road and Street Services										
Repairs and Maintenance									-	N/A
Bridge - Entrance										
Bridge Inspection Report	-	-	-	-	-	-	-	-	-	N/A
Utility Service										
Street Lights - Electric Services	130	-	-	-	-	-	-	130	-	N/A
Traffic I - Electric Services	1,135	521	1,087	(1,071)	653	474	1,064	3,862	-	N/A
Bridge - Electric Services	112	50	-	(48)	105	8,287	109	8,614	-	N/A
Maintnenace Services										
Clean/Painting - Bridge	-	-	-	-	-	-	-	-	-	N/A
Clean/Painting - Entry Monuments	-	-	-	-	-	-	-	-	-	N/A
Clean/Painting - Entry Wall	-	3,496	-	-	-	-	-	3,496	-	N/A
Clean/Painting - Street Lights/Directional	-	47	-	57	-	-	-	104	-	N/A
Miscellaneous Repairs	-	-	-	3,200	-	373	235	3,808	9,000	42%
Sub-Total:	23,508	28,838	14,473	46,236	34,701	43,425	61,374	252,555	480,050	53%
Landscaping Services										
Professional Management										
Asset Management	-	-	-	-	-	-	-	-	6,500	0%
Water Quality Monitoring	-	-	-	-	-	700	2,100	2,800	10,000	28%
Utility Services										
Electric - Landscape Lighting	-	-	-	-	-	-	-	-	4,500	0%
Irrigation Water - Landscaping	-	-	-	-	-	-	-	-	7,000	0%
Potable Water - Meter Install (Entry Fountain)	-	-	-	12,180	-	8,250	-	20,430	-	N/A
Potable Water - Fountain	-	-	-	24	31	27	27	109	4,000	3%
Water Service - Entry Fountain	-	-	48	-	-	-	-	48	-	N/A
Repairs & Maintenance										
Public Area Landscaping										

Prepared by:

JPWARD and Associates, LLC

Wentworth Estates Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2021

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Treviso Bay Blvd - Entrance	-	-	8,842	12,105	6,230	5,787	5,787	38,751	71,000	55%
Southwest Boulevard	-	-	3,836	-	1,918	3,836	1,918	11,508	32,000	36%
Irrigation System	-	-	-	-	647	431	-	1,078	3,000	36%
Well System	-	-	-	-	-	-	-	-	-	N/A
Plant Replacement	-	2,209	7,987	-	713	-	1,948	12,857	12,000	107%
Fountains	-	-	-	685	415	1,333	4,855	7,288	15,000	49%
Other Current Charges	-	-	-	-	-	-	-	-	-	N/A
Operating Supplies										
Mulch	-	5,000	-	-	-	-	-	5,000	5,000	100%
Contingencies	-	-	-	1,437	-	-	-	1,437	7,500	19%
Capital Outlay	-	-	-	-	-	-	-	-	-	N/A
Sub-Total:	-	7,209	20,712	26,431	9,953	20,364	16,636	101,305	177,500	57%
Pump Station - Community Wide Irrigation System										
Professional Management										
Asset Management	-	-	-	-	-	-	-	-	-	N/A
Utility Services										
Electric - Pump Station	-	-	-	-	-	-	-	-	-	N/A
Repairs & Maintenance										
Pumps and Associated Facilities	-	-	-	-	-	-	-	-	-	N/A
Wells	-	-	-	-	-	-	-	-	-	N/A
Building	-	-	-	-	-	-	-	-	-	N/A
Reserve for Pump Replacement	-	-	-	-	-	-	-	-	-	N/A
Sub-Total:	-	-	-	-	-	-	-	-	-	N/A
Reserves										
Operations	-	-	-	-	-	-	-	-	175,000	0%
Sub-Total:	-	-	-	-	-	-	-	-	175,000	0%
Total Expenditures and Other Uses:	\$ 50,439	\$ 43,410	\$ 92,371	\$ 80,436	\$ 51,759	\$ 61,019	\$ 86,828	\$ 466,261	\$ 1,051,325	44%
Net Increase/ (Decrease) in Fund Balance	(44,859)	405,953	377,531	(14,680)	(21,687)	(49,415)	(72,125)	580,717	1,000	
Fund Balance - Beginning	141,322	96,463	502,416	879,947	865,267	843,580	794,164	141,322	27,882	
Fund Balance - Ending	\$ 96,463	\$ 502,416	\$ 879,947	\$ 865,267	\$ 843,580	\$ 794,164	\$ 722,039	722,039	\$ 28,882	

Prepared by:

JPWARD and Associates, LLC

Wentworth Estates Community Development District
Debt Service Fund - Series 2018 Bonds
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2021

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Carryforward										-
Interest Income										
Revenue Account	4	4	2	3	9	8	9	39	1,000	4%
Reserve Account	2	2	2	2	2	2	2	17	630	3%
Prepayment Account	-	-	-	-	-	-	-	-	-	N/A
Interest Account	-	0	0	-	-	-	-	0	450	0%
Sinking Fund Account	-	-	-	-	-	-	-	-	-	N/A
Special Assessment Revenue										
Special Assessments - On-Roll	10,469	843,023	881,557	123,361	56,416	21,768	27,583	1,964,176	1,974,169	99%
Special Assessments - Off-Roll	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	N/A
Discounts on Bonds										
Proceeds from Refunding Bonds										
2018 Refinance (2006 Bonds)	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)										
Total Revenue and Other Sources:	\$ 10,475	\$ 843,029	\$ 881,561	\$ 123,367	\$ 56,427	\$ 21,779	\$ 27,594	1,964,232	\$ 1,976,249	N/A
Expenditures and Other Uses										
Proprety Appraiser/Tax Collector Fees									\$ -	N/A
Debt Service										
Principal Debt Service - Mandatory										
Series 2018 Bonds	-	-	-	-	-	-	-	-	\$ 1,065,000	0%
Principal Debt Service - Prepayments										
Series 2018 Bonds	-	-	-	-	-	-	-	-	-	N/A
Interest Expense										
Series 2018 Bonds	-	440,925	-	-	-	-	-	440,925	881,850	50%
Foreclosure Counsel										
Property Appraiser & Tax Collector	-	-	-	-	-	-	-	-	-	N/A
Pymt to Refunded Bonds Escrow Agent										
2018 Refinance (2006 Bonds)	-	-	-	-	-	-	-	-	-	N/A
Intragovernmental Transfers Out										
Total Expenditures and Other Uses:	\$ -	\$ 440,925	\$ -	\$ -	\$ 0.00	\$ 12,986.37	\$ 0.00	453,911	\$ 1,946,850	N/A
Net Increase/ (Decrease) in Fund Balance	10,475	402,104	881,561	123,367	56,427	8,792	27,594	1,510,320	29,399	
Fund Balance - Beginning	1,432,432	1,442,906	1,845,010	2,726,571	2,849,938	2,906,365	2,915,158	1,432,432	-	
Fund Balance - Ending	\$ 1,442,906	\$ 1,845,010	\$ 2,726,571	\$ 2,849,938	\$ 2,906,365	\$ 2,915,158	\$ 2,942,752	2,942,752	\$ 29,399	

WENTWORTH ESTATES COMMUNITY DEVELOPMENT DISTRICT



FINANCIAL STATEMENTS - MAY 2021

FISCAL YEAR 2021

PREPARED BY:

JPWARD & ASSOCIATES, LLC, 2301 NORTHEAST 37TH STREET, FORT LAUDERDALE, FL 33308

T: 954-658-4900 E: JimWard@JPWardAssociates.com

Wentworth Estates Community Development District

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JPWard & Associates LLC

2301 Northeast 37th Street

Fort Lauderdale, Florida 33308

Phone: (954) 658-4900

Wentworth Estates Community Development District
Balance Sheet
for the Period Ending May 31, 2021

	Governmental Funds				Totals (Memorandum Only)
	General Fund	Debt Service Fund Series 2018	General Long Term Debt	Account Groups Fixed Assets	
Assets					
Cash and Investments					
General Fund - Invested Cash	\$ -	\$ -	\$ -	---	\$ -
General Fund - Hancock Bank	\$ 633,620				\$ 633,620
Construction Account	-	-	-		-
Debt Service Fund					
Interest Account	-	-	-		-
Sinking Account	-	-	-		-
Reserve Account	-	579,988	-		579,988.13
Revenue	-	807,500	-		807,499.89
Prepayment Account	-	-	-		-
Deferred Cost Account	-	-	-		-
Capital Project Fund - Series 2018					
Due from Other Funds					
General Fund	-	53,954	-		53,954.20
Debt Service Fund(s)		-	-		-
Market Valuation Adjustments					
Accrued Interest Receivable					
Assessments Receivable					
Prepaid Expenses					
Amount Available in Debt Service Funds	-	-	1,441,442		1,441,442.22
Amount to be Provided by Debt Service Funds	-	-	21,683,558		21,683,557.78
Investment in General Fixed Assets (net of depreciation)	-	-	-	45,257,809	45,257,809.00
Total Assets	\$ 633,620	\$ 1,441,442	\$ 23,125,000	\$ 45,257,809	\$ 70,457,871

Wentworth Estates Community Development District
Balance Sheet
for the Period Ending May 31, 2021

	Governmental Funds				Totals (Memorandum Only)
	General Fund	Debt Service Fund Series 2018	Account Groups		
			General Long Term Debt	Fixed Assets	
Liabilities					
Accounts Payable & Payroll Liabilities	\$ -	\$ -	\$ -		-
Due to Other Funds					-
General Fund	-				-
Debt Service Fund(s)	53,954				53,954
Loan - TB Master Turnover, Inc.	-				-
Due to Bondholders					-
Bonds Payable					-
Current Portion	-	-			-
Long Term	-	-	23,125,000		23,125,000
Matured Bonds Payable	-	-	-		-
Matured Interest Payable	-	-	-		-
Total Liabilities	\$ 53,954	\$ -	\$ 23,125,000	\$ -	\$ 23,178,954
Fund Equity and Other Credits					
Investment in General Fixed Assets	-	-	-	45,257,809	45,257,809.00
Fund Balance					
Restricted					
Beginning: October 1, 2020 (Audited)	-	1,432,432	-		1,432,431.85
Results from Current Operations	-	9,010	-		9,010.37
Unassigned					
Beginning: October 1, 2020 (Audited)	141,322	-	-		141,322.00
Results from Current Operations	438,343	-	-		438,343.39
Total Fund Equity and Other Credits	\$ 579,665	\$ 1,441,442	\$ -	\$ 45,257,809	\$ 47,278,917
Total Liabilities, Fund Equity and Other Credits	\$ 633,620	\$ 1,441,442	\$ 23,125,000	\$ 45,257,809	\$ 70,457,871

Prepared by:

JPWARD and Associates, LLC

Wentworth Estates Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2021

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Carryforward	-	-	-	-	-	-	-	-	-	0	
Interest											
Interest - General Checking	-	-	-	-	-	-	-	-	-	0	N/A
Special Assessment Revenue											
Special Assessments - On-Roll	5,580	449,362	469,902	65,756	30,072	11,603	14,703	2,454	1,049,432	1,052,325	100%
Special Assessments - Off-Roll	-	-	-	-	-	-	-	-	-	0	N/A
Miscellaneous Revenue											
	-	-	-	-	-	-	-	-	-	0	N/A
Intergovernmental Transfers In											
	-	-	-	-	-	-	-	-	-	-	
Total Revenue and Other Sources:	5,580	449,362	\$469,902	\$65,756	\$30,072	\$11,603	\$14,703	\$2,454	1,049,432	\$ 1,052,325	100%
Expenditures and Other Uses											
Legislative											
Board of Supervisor's - Fees	-	1,000	-	-	-	-	800	800	2,600	4,000	65%
Board of Supervisor's - Taxes	-	-	-	-	-	-	-	-	-	-	N/A
Executive											
Professional Management	4,167	4,167	4,167	4,167	4,167	4,167	4,167	4,167	33,333	50,000	67%
Financial and Administrative											
Audit Services	-	-	3,000	-	-	1,800	-	-	4,800	4,700	102%
Accounting Services	1,333	1,333	1,333	1,333	1,333	1,333	1,333	1,333	10,667	16,000	67%
Assessment Roll Services	667	667	667	667	667	667	667	667	5,333	8,000	67%
Assessment Methodology Services	-	-	-	-	-	-	-	-	-	-	N/A
Arbitrage Rebate Services	-	-	-	-	-	-	-	-	-	500	0%
Other Contractual Services											
Recording and Transcription	-	-	-	-	-	-	-	-	-	-	N/A
Legal Advertising	322	-	-	-	-	-	-	1,009	1,331	2,900	46%
Trustee Services	-	-	-	-	-	-	-	-	-	8,400	0%
Dissemination	-	-	-	-	-	-	-	-	-	5,000	0%
Property Appraiser/Tax Collector Fees	19,909	-	-	-	-	(12,986)	-	-	6,922	25,000	28%
Bank Service Charges	30	39	-	-	-	-	-	-	69	800	9%
Travel and Per Diem											
	-	-	-	-	-	-	-	-	-	-	N/A
Communications & Freight Services											
Telephone	-	-	-	-	-	-	-	-	-	-	N/A

Prepared by:

JPWARD and Associates, LLC

Wentworth Estates Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2021

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Postage, Freight & Messenger	16	-	58	258	-	51	9	64	455	600	76%
Insurance	-	-	47,241	-	-	-	-	-	47,241	60,000	79%
Printing & Binding	-	107	-	-	-	159	-	172	438	500	88%
Website Development	50	50	50	50	50	50	50	50	400	1,200	33%
Subscription & Memberships	175	-	-	-	-	-	-	-	175	175	100%
Legal Services											
Legal - General Counsel	263	-	670	1,295	-	490	1,418	-	4,135	10,000	41%
Legal - Foreclosure Counsel	-	-	-	-	-	-	-	-	-	-	N/A
Legal - Tax Counsel	-	-	-	-	-	-	-	-	-	-	N/A
Legal - Bond/Disclosure Counsel	-	-	-	-	-	-	-	-	-	-	N/A
Other General Government Services											
Engineering Services - General	-	-	-	-	888	-	375	1,125	2,388	12,000	20%
Engineering Services - Assets	-	-	-	-	-	-	-	-	-	9,000	0%
Appraisal Services	-	-	-	-	-	1,500	-	-	1,500	-	N/A
Contingencies	-	-	-	-	-	-	-	-	-	-	N/A
Sub-Total:	26,931	7,363	57,186	7,769	7,104	(2,770)	8,818	9,386	121,787	218,775	56%
Stormwater Management Services											
Professional Services											
Asset Management	4,273	-	4,375	-	4,375	-	-	5,363	18,385	37,000	50%
NPDES Reporting	3,425	4,375	-	4,375	-	-	-	-	12,175	2,000	609%
Utility Services											
Electric - Aeration System	-	-	-	-	-	-	-	-	-	-	N/A
Repairs & Maintenance											
Lake & Wetland System											
Aquatic Weed Control	8,118	5,500	-	11,000	5,500	-	11,000	5,500	46,618	64,800	72%
Lake Bank Maintenance	-	-	-	-	-	1,950	-	-	1,950	3,000	65%
Water Quality Testing	-	-	-	-	-	-	-	-	-	14,000	0%
Water Control Structures	-	-	4,330	13,200	-	-	-	-	17,530	26,000	67%
Wetland System											
Routine Maintenance	1,765	2,899	-	5,798	2,899	-	9,698	2,899	25,959	34,800	75%
Water Quality Testing	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay											
Aeration System	-	-	-	7,240	-	-	-	-	7,240	-	N/A
Littoral Shelf Replanting	4,550	-	-	-	-	-	-	1,600	6,150	-	N/A
Fountain Replacement (in Lakes)	-	-	-	-	-	-	-	-	-	10,000	0%

Prepared by:

JPWARD and Associates, LLC

Wentworth Estates Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2021

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Lake Bank Restoration	-	1,450	4,681	2,485	14,794	32,341	39,268	107,601	202,620	252,450	80%
Erosion Restoration	-	-	-	-	6,375	-	-	-	6,375	12,000	53%
Contingencies	-	10,500	-	-	-	-	-	-	10,500	15,000	70%
Road and Street Services											
Repairs and Maintenance										-	N/A
Bridge - Entrance											
Bridge Inspection Report	-	-	-	-	-	-	-	-	-	-	N/A
Utility Service											
Street Lights - Electric Services	130	-	-	-	-	-	-	-	130	-	N/A
Traffic I - Electric Services	1,135	521	1,087	(1,071)	653	474	1,064	-	3,862	-	N/A
Bridge - Electric Services	112	50	-	(48)	105	8,287	109	-	8,614	-	N/A
Maintnenace Services											
Clean/Painting - Bridge	-	-	-	-	-	-	-	-	-	-	N/A
Clean/Painting - Entry Monuments	-	-	-	-	-	-	-	-	-	-	N/A
Clean/Painting - Entry Wall	-	3,496	-	-	-	-	-	1,961	5,457	-	N/A
Clean/Painting - Street Lights/Directional	-	47	-	57	-	-	-	-	104	-	N/A
Miscellaneous Repairs	-	-	-	3,200	-	373	235	-	3,808	9,000	42%
Sub-Total:	23,508	28,838	14,473	46,236	34,701	43,425	61,374	124,923	377,478	480,050	79%
Landscaping Services											
Professional Management											
Asset Management	-	-	-	-	-	-	-	2,750	2,750	6,500	42%
Water Quality Monitoring	-	-	-	-	-	700	2,100	-	2,800	10,000	28%
Utility Services											
Electric - Landscape Lighting	-	-	-	-	-	-	-	-	-	4,500	0%
Irrigation Water - Landscaping	-	-	-	-	-	-	-	-	-	7,000	0%
Potable Water - Meter Install (Entry Fountain)	-	-	-	12,180	-	8,250	-	-	20,430	-	N/A
Potable Water - Fountain	-	-	-	24	31	27	27	63	173	4,000	4%
Water Service - Entry Fountain	-	-	48	-	-	-	-	-	48	-	N/A
Repairs & Maintenance											
Public Area Landscaping											
Treviso Bay Blvd - Entrance	-	-	8,842	12,105	6,230	5,787	5,787	5,787	44,538	71,000	63%
Southwest Boulevard	-	-	3,836	-	1,918	3,836	1,918	1,918	13,426	32,000	42%
Irrigation System	-	-	-	-	647	431	-	-	1,078	3,000	36%
Well System	-	-	-	-	-	-	-	-	-	-	N/A
Plant Replacement	-	2,209	7,987	-	713	-	1,948	-	12,857	12,000	107%

Prepared by:

JPWARD and Associates, LLC

Wentworth Estates Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2021

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Fountains	-	-	-	685	415	1,333	4,855	-	7,288	15,000	49%
Other Current Charges	-	-	-	-	-	-	-	-	-	-	N/A
Operating Supplies											
Mulch	-	5,000	-	-	-	-	-	-	5,000	5,000	100%
Contingencies	-	-	-	1,437	-	-	-	-	1,437	7,500	19%
Capital Outlay	-	-	-	-	-	-	-	-	-	-	N/A
Sub-Total:	-	7,209	20,712	26,431	9,953	20,364	16,636	10,518	111,823	177,500	63%
Pump Station - Community Wide Irrigation System											
Professional Management											
Asset Management	-	-	-	-	-	-	-	-	-	-	N/A
Utility Services											
Electric - Pump Station	-	-	-	-	-	-	-	-	-	-	N/A
Repairs & Maintenance											
Pumps and Associated Facilities	-	-	-	-	-	-	-	-	-	-	N/A
Wells	-	-	-	-	-	-	-	-	-	-	N/A
Building	-	-	-	-	-	-	-	-	-	-	N/A
Reserve for Pump Replacement	-	-	-	-	-	-	-	-	-	-	N/A
Sub-Total:	-	-	-	-	-	-	-	-	-	-	N/A
Reserves											
Operations	-	-	-	-	-	-	-	-	-	175,000	0%
Sub-Total:	-	-	-	-	-	-	-	-	-	175,000	0%
Total Expenditures and Other Uses:	\$ 50,439	\$ 43,410	\$ 92,371	\$ 80,436	\$ 51,759	\$ 61,019	\$ 86,828	\$ 144,828	\$ 611,089	\$ 1,051,325	58%
Net Increase/ (Decrease) in Fund Balance	(44,859)	405,953	377,531	(14,680)	(21,687)	(49,415)	(72,125)	(142,374)	438,343	1,000	
Fund Balance - Beginning	141,322	96,463	502,416	879,947	865,267	843,580	794,164	722,039	141,322	27,882	
Fund Balance - Ending	\$ 96,463	\$ 502,416	\$ 879,947	\$ 865,267	\$ 843,580	\$ 794,164	\$ 722,039	\$ 579,665	\$ 579,665	\$ 28,882	

Wentworth Estates Community Development District
Debt Service Fund - Series 2018 Bonds
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2021

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Carryforward											-
Interest Income											
Revenue Account	4	4	2	3	9	8	9	9	48	1,000	5%
Reserve Account	2	2	2	2	2	2	2	2	19	630	3%
Prepayment Account	-	-	-	-	-	-	-	-	-	-	N/A
Interest Account	-	0	0	-	-	-	-	0	0	450	0%
Sinking Fund Account	-	-	-	-	-	-	-	0	0	-	N/A
Special Assessment Revenue											
Special Assessments - On-Roll	10,469	843,023	881,557	123,361	56,416	21,768	27,583	4,603	1,968,779	1,974,169	100%
Special Assessments - Off-Roll	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	-	N/A
Discounts on Bonds	-	-	-	-	-	-	-	-	-	-	N/A
Proceeds from Refunding Bonds											
2018 Refinance (2006 Bonds)	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 10,475	\$ 843,029	\$ 881,561	\$ 123,367	\$ 56,427	\$ 21,779	\$ 27,594	\$ 4,615	1,968,847	\$ 1,976,249	N/A
Expenditures and Other Uses											
Property Appraiser/Tax Collector Fees											-
Debt Service											
Principal Debt Service - Mandatory											
Series 2018 Bonds	-	-	-	-	-	-	-	1,065,000	1,065,000	\$ 1,065,000	100%
Principal Debt Service - Prepayments											
Series 2018 Bonds	-	-	-	-	-	-	-	-	-	-	N/A
Interest Expense											
Series 2018 Bonds	-	440,925	-	-	-	-	-	440,925	881,850	881,850	100%
Foreclosure Counsel	-	-	-	-	-	-	-	-	-	-	N/A
Property Appraiser & Tax Collector	-	-	-	-	-	12,986	-	-	12,986	-	N/A
Pymt to Refunded Bonds Escrow Agent											
2018 Refinance (2006 Bonds)	-	-	-	-	-	-	-	-	-	-	N/A
Intragovernmental Transfers Out	-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ 440,925	\$ -	\$ -	\$ 0.00	\$ 12,986.37	\$ 0.00	\$ 1,505,925.01	1,959,836	\$ 1,946,850	N/A
Net Increase/ (Decrease) in Fund Balance	10,475	402,104	881,561	123,367	56,427	8,792	27,594	(1,501,310)	9,010	29,399	
Fund Balance - Beginning	1,432,432	1,442,906	1,845,010	2,726,571	2,849,938	2,906,365	2,915,158	2,942,752	1,432,432	-	
Fund Balance - Ending	\$ 1,442,906	\$ 1,845,010	\$ 2,726,571	\$ 2,849,938	\$ 2,906,365	\$ 2,915,158	\$ 2,942,752	\$ 1,441,442	1,441,442	\$ 29,399	