
Miromar Lakes Community Development District

Regular Meeting Agenda

September 29, 2016



Visit our Web Site at: www.miromarlakescdd.org

Prepared by:

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MIROMAR LAKES COMMUNITY DEVELOPMENT DISTRICT

September 22, 2016

Board of Supervisors
Miromar Lakes Community Development District

Dear Board Members:

The Regular Meeting of the Board of Supervisors of the Miromar Lakes Community Development District will be held on **Thursday, September 29, 2016, at 2:00 P.M.** at the **Beach Clubhouse, 18061 Miromar Lakes Parkway, Miromar Lakes, Florida 33913.**

1. Call to Order & Roll Call
2. Consideration of Minutes
 - a) August 11, 2016 Regular Meeting
3. Discussion and comments on coordination regarding the design and construction plans for the road interconnect between FGCU and CenterPlace.
4. Staff Reports
 - a) Attorney
 - b) Engineer
 - c) Asset manager
 - d) Manager
 - I. Financial Statements for the period ending August 31, 2016
5. Supervisor's Requests and Audience Comments
6. Adjournment

The second order of business is consideration of the minutes of the August 11, 2016 regular meeting.

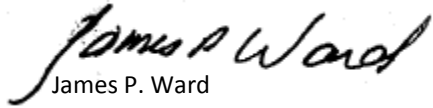
The third order of business is related to an agreement between the District, FGCU, MDC and CenterPlace regarding the design and construction for a road interconnect. Enclosed are a complete set of the plans that were provided to the District along, with both professional staff's comments, and MDC's comments on the plans. Under the agreement, the purpose of the item is to provide any coordination or comments to the proposed road construction.

Miromar Lakes Community Development District

The balance of the Agenda is standard in nature and I look forward to seeing you at the meeting, and if you have any questions and/or comments, please do not hesitate to contact me directly at (954) 658-4900.

Yours sincerely,

**Miromar Lakes
Community Development District**



James P. Ward
District Manager
Enclosures

The Fiscal Year 2017 schedule is as follows

October 13, 2016	November 10, 2016
December 8, 2016	January 12, 2017
February 9, 2017	March 9, 2017
April 13, 2017	May 11, 2017
June 8, 2017	July 13, 2017
August 10, 2017	September 14, 2017

**MINUTES OF MEETING OF THE
MIROMAR LAKES
COMMUNITY DEVELOPMENT DISTRICT**

The Regular Meeting of the Miromar Lakes Community Development District's Board of Supervisors was held on Thursday, August 11, 2016, at 2:00 p.m. at the Beach Clubhouse, 18061 Miromar Lakes Parkway, Miromar Lakes, Florida 33913.

Board members present and constituting a quorum were:

Michael Hendershot	Chairman
David Herring	Vice Chairman
Doug Ballinger	Assistant Secretary
Burnett Donoho	Assistant Secretary
Alan Refkin	Assistant Secretary

Staff present:

Jim Ward	JP Ward & Associates
Greg Urbancic	District Counsel
Paul Cusmano	Calvin Giordano & Associates
Bruce Bernard	Calvin Giordano & Associates
Charlie Krebs	District Engineer

Audience:

Members present

1. Call to Order & Roll Call

Mr. Ward called the meeting to order at 2:00 p.m. A roll call determined that all members of the Board were present. Mr. Ward addressed the audience present, advising that an agenda was placed on each chair. He explained that for each item on the agenda comments from the audience would be requested at that time for the item, and that if anyone had any questions not related to that item, then at the end of the meeting, audience members would be able to address any items not on the agenda.

2. Consideration of Minutes

a) July 14, 2016 Regular Meeting

Referring to page 3, the last word should be Navonna, and NDP should be changed to NPDES.

Motion was made by Mr. Refkin and seconded by Mr. Ballinger to approve the Minutes as amended above, and with all in favor, the motion was approved.

3. Public Hearings

a) Fiscal Year 2017 Budget

Motion was made by Mr. Donoho and seconded by Mr. Refkin to open the Public Hearing as described above, and with all in favor the motion was approved.

Mr. Ward reported that he had received no written or oral communication regarding the budget. He then asked for questions from the audience regarding this item. No questions were asked.

Motion was made by Mr. Donoho and seconded by Mr. Refkin to close the Public Hearing as described above, and with all in favor, the motion was approved.

Mr. Ward stated the final item in this public hearing was to consider resolution 2016-2 which adopts the Annual Appropriation and the Budget for Fiscal Year 2017. He informed the Board that there were no changes to the Budget other than an update of the Year-to-Date figures for both the General Fund and the Debt Service Funds.

Mr. Ward then asked for questions from the Board. Several members mentioned various proofreading type errors in the document which Mr. Ward noted and said would be corrected in the final copy.

Motion was made by Mr. Donoho and seconded by Mr. Refkin to adopt Resolution 2016-2, and with all in favor, the motion was approved.

b) Fiscal Year 2017 Imposing Special Assessments; Adopting an Assessment Roll and Approving the General Fund Special Assessment Methodology and Approving a General Fund Assessment Cap Rate

Motion was made by Mr. Donoho and seconded by Mr. Ballinger to open the Public Hearing, and with all in favor, the motion was approved.

Mr. Ward reiterated that this was a Public Hearing, and so if there were any questions from the public regarding special assessments themselves or the adoption of the methodology that was used to levy the assessment, this would be the time to do that.

An audience member asked what the special assessments were and what they would be used for. Mr. Ward answered that the proposed rate for this coming fiscal year is \$672.77. Residents paid \$671.71 in the prior year. It covers the administrative operations of the district, landscaping operations along the perimeter of the project, and the operations and maintenance of the water management system. The debt service has been an ongoing assessment since 2003.

Motion was made by Mr. Ballinger and seconded by Mr. Refkin to close the Public Hearing as described above, and with all in favor, the motion was approved.

Mr. Ward put forth the consideration of Resolution 2016-3 Imposing Special Assessments, Adopting an Assessment Roll and Approving the General Fund Special Assessment Methodology. There were no questions from the Board.

Motion was made by Mr. Herring and seconded by Mr. Ballinger to adopt Resolution 2016-3, and with all in favor, the motion was approved.

4. Consideration of Resolution 2016-4 designating the dates, times and location for regular meetings of the Board of Supervisors of the District for the Fiscal Year 2017.

Mr. Ward explained that the meetings will be the same as in the past, the second Thursday of every month at 2:00 p.m. at the Beach Clubhouse. There was no discussion.

Motion was made by Mr. Donoho and seconded by Mr. Refkin to adopt Resolution 2016-4, and with all in favor, the motion was approved.

5. Consideration of Resolution 2016-5 amending the General Fund Budget for Fiscal Year 2016.

Since the Board approved moving forward some of the capital improvement elements of part of the water management plan, this resolution is moving some of the line items around to make sure they are correct by the end of the year for purposes of the construction of those portions of the water management system that are in restoration. No questions were asked.

Motion was made by Mr. Donoho and seconded by Mr. Refkin to adopt Resolution 2016-5, and with all in favor, the motion was approved.

6. Consideration of Amendment to Agreement with Calvin, Giordano & Associates, to provide ongoing construction administration/inspection services for the District's Capital Improvement Plan for Fiscal Years 2017-2020.

Mr. Ward stated that the Board over a period of time reviewed and put in place pursuant to this budget a capital improvement program related to the renewal and restoration of portions of the water management system where necessary. Included in that plan were certain construction inspection services that were needed. With respect to that, the agreement under consideration simply amends the existing agreement with CGA to permit them to do the construction inspections services covering the four year period. The cost is on average \$25,000 to \$30,000 a year, which is budgeted in both the 2016 and 2017 budgets. It will be budgeted in future years if the program continues. It contains the new language that is required pursuant to the statute with respect to the Public Records law, which was a change to the law this pending year and provides this scope of services. A comment was made by a Board member that Calvin, Giordano & Associates do an excellent job.

Motion was made by Mr. Donoho and seconded by Mr. Refkin to amend the agreement with Calvin, Giordano & Associates as described above, and with all in favor, the motion was approved.

7. Consideration of Request by Miromar Development Corporation for the exchange of certain properties owned by the District, and in exchange, the dedication of a lake.

The Board considered this item a couple of months ago. The developer had requested the exchange of a very small piece of property, and in exchange, dedicating a large lake, which is essentially a part of the water management system. Mr. Ward has requested a certification that the lake was built in accordance with the plans and specifications. This certification has been received. Also, as a part of this, Mr. Ward will execute a letter agreement with Miromar Development Corporation that will require them to obtain the certificate of completion from South Florida Water Management, so that there can be a transfer from the construction phase to the operation phase. This will happen once the development of the entire lake system that is under that permit is completed. This is a very small portion of that larger permit that is under consideration.

A question was asked concerning the existence of a written agreement with regard to any deficiencies that might exist in the construction of the lakes which insures that the developer will be responsible for bringing it up to specifications. The reply was that the commitment is verbal. A written agreement would happen as a normal result of the South

Florida certification anyway. However, Mr. Ward will highlight this. A comment was made that Lee County already approved the lake project, so it is in compliance at this point.

It was asked if the developers had made changes since it was approved. Mr. Ward responded that in some of the older permits from this project, drainage from lots goes directly into the district's water management system. In this particular piece, although under those old permit criteria, the developer actually modified that slightly so the water drains to the front of the property into the culverts. That is the only modification. It is actually a better design than in the older parts of the community.

The District Engineer, Charlie Krebs, commented that he had spent an hour and a half in the area using a scale to measure areas of concern. He looked at areas from the water to the buildings. All is satisfactory.

A point of clarification was made concerning the actual title that they are taking. It is basically the lake bottom. The area that Mr. Krebs is referring to is owned by the homeowners' association. There is an easement over it. They are not accepting that piece of property. They are accepting the lake up to where the LME is. While these impact the ability to maintain, they are not taking title to any of those areas. Mr. Krebs responded that they had received surveys that were submitted to the county. The county accepted these as part of their letter of substantial compliance saying that the lakes were constructed with substantial compliance. When construction of phase 4 gets done, a letter from the developer saying that this portion has been inspected and certified by South Florida will be received.

Motion was made by Mr. Donoho and seconded by Mr. Refkin to approve the transfer described above, and with all in favor, the motion was approved.

8. Staff Reports

- a) District Attorney – No report.
- b) District Engineer – No report.
- c) Asset Manager

Mr. Ward introduced Tammy Cook with Calvin, Giordano and Associates. Ms. Cook is the landscape architect who at the last meeting had asked to go out onto the property and look at all of the areas that the district maintains for landscaping purposes and to provide the Board with a review of that system. The audience was provided with copies of the review.

Ms. Cook described the process of her review using slides to illustrate her explanation. She explained that the situation is the existing berms, and the oak trees are shading out the understory plant material. She made suggestions for other plants to use.

She provided different options to use in each problem area. Many of her ideas try to bring more color through plants into the community. She also had suggestions for plantings that might help with drainage issues. A question was asked if the irrigation system would have to be modified to adopt this plan. A modification that would need to be made would be to raise the heads of the system. No large scale modifications would be needed.

Once the ideas presented have been approved, the next step would be is to determine the cost and how to phase in the changes within the budget. A point was made that there might also be an increased cost to maintaining these beautiful flowers. Another question posed was will there be an increase in landscaping staff.

Mr. Ward stated that the next steps are to identify the capital cost, prioritize it, and add what the incremental cost, in terms of the maintenance, will be over a period of years. The plan will have to be phased in.

It was suggested that as this is a contract negotiation year for the landscaping company, it might be a good time to negotiate these new plans with them.

Mr. Ward asked for questions from the audience.

Jay Segal from the audience complimented the plans that were presented. He brought forward the issue of some break-ins that took place in St. Moritz. He requested that new plantings could help somewhat to discourage crime.

Another audience member commented that this problem must be attacked by everyone. Two more vehicle break-ins occurred over the weekend. . It was determined that the perpetrators did not come through the gate. A gated community does not mean safety anymore.

There was some discussion about how the crimes are occurring. A question was asked if the perpetrators were parking their cars on Ben Hill Griffin Road and entering through the berm area. No one is sure. It was suggested that it could be through the golf maintenance area. There is also a vacant property adjacent to the college dorms. These are vulnerable areas. A portion of this area between the golf maintenance and college dorms is owned by the CDD.

An audience member suggested that first priority should be protecting the people who live in the vulnerable areas before looking at ways to make it prettier so more people who don't live here, buy here. The response was that this is true, but at the same time, property values also must be protected.

c) District Manager - No report.

5. Supervisor's Requests and Audience Comment

Mr. Bernard reported the first phase of the barrier installation and the planting of the trees is complete. This included two thousand plants and 15 wetland trees plus the 1800 ft. barrier. He reported that they are up to speed with everything for the NPDES reports. Lightning struck an electrical panel on Ben Hill Griffin. That has been repaired.

A question was asked concerning the immediate addressing of the area of the berm by Tivoli. Mr. Ward responded that he would include that in his analysis next month. This has to be deferred until next month due to the funding not being available in the current year.

A statement was made that the developer would like to work with the staff to figure out the right solution and expedite it. A comment was made that they are fellow residents. They understand the issue. It is a priority. Mr. Ward offered to authorize going forward, and if he deems it appropriate within the context of the existing budget, then he will do a budget amendment at a future meeting.

A question was asked by the audience concerning a hike in fees due to a legal issue between Miromar and the CDD. His understanding is that the issue became settled and is there an adjustment in the budget to cut back on this fee. Mr. Ward reported that they are still incurring legal fees for implementation of the agreement. The litigation showed that there were a number of permits that they weren't aware of that they were in violation of. They are having to take corrective action, which is why they are going to maintain that number this year.

There was some discussion about how to communicate among the residents when crime occurs. Shana, assistant to the property manager at the HOA, was introduced as someone who could facilitate communication among different neighborhood groups and community members.

6. Adjournment

With no further comments or questions from the Board, Mr. Ward asked for a motion to adjourn.

Motion was made by Mr. Herring and seconded by Mr. Hendershot to adjourn the meeting, and with all in favor, the motion was approved.

The meeting was adjourned at 3:07 p.m.

James P. Ward, Secretary
defined., Chairman

Michael HendershotError! Bookmark not

GreenspoonMarder

From the desk of:
Glenn N. Smith, Esq.
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Fort Lauderdale, Florida 33301
Direct Phone: 954.888.2666
Direct Fax: 954.333.4066
Email: glenn.smith@gmlaw.com

September 21, 2016

Mr. James P. Ward
JPWard & Associates, LLC
2041 NE 6 Terrace
Wilton Manors, Florida 33305

Re: Ingress, Egress and Utility Easement Agreement (“Easement Agreement”) between Miromar Lakes Community Development District (“CDD”), Miromar Lakes, L.L.P. (“Miromar”), Alico-Agri, Ltd. (“Alico-Agri”), and Florida Gulf Coast University Board of Trustees (“FGCU”), dated August 31, 2010 (See **Attachment 1**)

Dear Jim:

As stated above, the Easement Agreement was entered into between Miromar, CDD, Alico-Agri, and FGCU. The purpose of the Easement Agreement was to provide FGCU with the ability to design and construct a roadway with attendant landscaping, lighting and utilities connecting the northeastern part of the FGCU campus with the CenterPlace project. Within CenterPlace is a 40 acre parcel donated by Alico-Agri to FGCU.

Originally, FGCU was charged with the obligation to design and construct this roadway. Later, Alico West Fund, LLC (“Alico”), a successor to Alico-Agri, assumed the obligation to design and construct the roadway.

You received a letter dated August 3, 2016 from Carl Barraco of Barraco and Associates, Inc., the engineers for Alico (see **Attachment 2**). Therein, Mr. Barraco notified you that Alico plans to go forward with the construction of the roadway. To that end, he attached two complete sets of the proposed construction plans for the proposed roadway between the FGCU campus and CenterPlace. Mr. Barraco requested that CDD and its consultant review the plans and provide any comments concerning any questions or comments concerning the impact on CDD property.

The proposed roadway will cross CDD property in an area south of the outlet from Lake 6. See **Attachment 3**. On Attachment 3 the layout of the proposed roadway is depicted in yellow. The affected CDD property is a narrow sliver located adjacent to the FGCU property.

There is no question that the Easement Agreement applies to and is binding upon the CDD. Therefore, the CDD should furnish any comments, objections or questions concerning the

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roadway and its impact upon the CDD's property to Alico within a reasonable time. Charlie Krebs has reviewed the plans for the roadway and has furnished his relatively minor comments in an email to the undersigned dated August 17, 2016 (see **Attachment 4**). I defer to Charlie for any additional comments, but it appears that the proposed roadway will not have any major impact upon the CDD's property.

Miromar Lakes furnished its comments to Mr. Barraco's letter and the attached plans in a letter dated August 12, 2016, authored by Mark W. Geschwendt, Esq. See **Attachment 5**. I discussed the comments in Mr. Geschwendt's letter with Charlie Krebs. I have numbered the comments in Mr. Geschwendt's letter which may be of some interest or applicability to the CDD property, as follows:

- a. Any questions concerning Items 1, 2 and 3 should be clarified if Alico furnishes the calculations requested by Charlie in Attachment 4.
- b. Items 4, 5, 6 and 7 have to do with landscaping, irrigation and lighting. The plans for these items must be approved by the County. The CDD should request from Alico copies of the plans submitted to the County, to be reviewed by Mr. Krebs.
- c. Items 8 and 9 are catchalls. Alico's plans must not be inconsistent with CDD's SFWMD and County permits. So, the CDD should keep an eye on Alico's permitting and construction.

If you have any questions, please contact the undersigned.

Sincerely,

GREENSPOON MARDER, P.A.



Glenn N. Smith, Esq.
For the Firm

GNS:lad
Attachments

THIS INSTRUMENT PREPARED BY:

Russell P. Schropp, Esquire
P. O. Box 280
Fort Myers, FL 33902-0280

INGRESS, EGRESS AND UTILITY EASEMENT AGREEMENT

THIS INGRESS, EGRESS AND UTILITY EASEMENT AGREEMENT ("Agreement") is entered into this 31 day of August, 2010, by and between:

MIROMAR LAKES, L.L.C. ("Miromar"), a Florida limited liability company, whose address is 10801 Corkscrew Road, Suite 305, Estero, FL 33928; **MIROMAR LAKES COMMUNITY DEVELOPMENT DISTRICT** ("CDD"), an independent special district established pursuant to Chapter 190, Florida Statutes, whose address is c/o Wrathell, Hart, Hunt & Associates, LLC, 6131 Lyons Road, Suite 100, Coconut Creek, FL 33073; **ALICO-AGRI, LTD.** ("Alico-Agri"), a Florida limited partnership, whose address is P.O. Box 338, LaBelle, FL 33925, (Miromar, CDD, and Alico-Agri being referred to herein collectively as "Grantors"); and **FLORIDA GULF COAST UNIVERSITY BOARD OF TRUSTEES** ("FGCU"), a public body corporate established pursuant to Chapter 1001, Florida Statutes, whose address is 10501 FGCU Boulevard South, Fort Myers, FL 33965-6565.

WITNESSETH:

WHEREAS, Miromar holds title to the real property described in Exhibit "A" attached hereto and incorporated herein by reference ("Miromar Property"); and

WHEREAS, CDD holds title to the real property described in Exhibit "B" attached hereto and incorporated herein by reference ("CDD Property"); and

WHEREAS, Alico-Agri holds title to the real property described in Exhibit "C" attached hereto and incorporated herein by reference ("Alico-Agri Property"); and

WHEREAS, FGCU leases a parcel of land from the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida on which it is developing and operating a state university, said property being described in that certain instrument recorded in O.R. Book 2497, Page 1564, Public Records of Lee County, Florida (hereinafter referred to as the "FGCU Campus"); and

WHEREAS, Alico-Agri has proposed to convey to FGCU a 40 +/- acre parcel of land located northeast of the FGCU Campus, said property being located within that parcel described in that certain instrument recorded in O.R. Book 3925, at Page 2691, Public Records of Lee County, Florida (said property being referred to hereinafter as the "Donation Parcel") which FGCU intends to develop and use for additional university facilities; and

WHEREAS, the Donation Parcel lies westerly of the proposed alignment for the future extension of County Road 951, a major arterial roadway proposed to be constructed by Lee County; and

WHEREAS, FGCU desires to obtain an easement for ingress, egress, utility and other purposes specified herein that will connect the FGCU Campus with the Donation Parcel and the proposed County Road 951 extension, as shown on the sketch attached hereto and incorporated by reference as Exhibit "D," and

WHEREAS, Grantors are willing to convey a non-exclusive easement for ingress, egress, utility and other purposes described herein to FGCU, subject to the terms and conditions of this Agreement.

AGREEMENT

NOW THEREFORE, in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the parties hereby agree as follows:

1. Miromar hereby grants and conveys to FGCU, its successors and assigns, a non-exclusive perpetual easement for ingress, egress, utility and other purposes described herein, over and across the Miromar Property described in attached Exhibit "A" for the benefit of the FGCU Campus and the Donation Parcel.
2. CDD hereby grants and conveys to FGCU, its successors and assigns, a non-exclusive perpetual easement for ingress, egress, utility and other purposes described herein, over and across the CDD Property described in Exhibit "B" for the benefit of the FGCU Campus and the Donation Parcel.
3. Alico-Agri hereby grants and conveys to FGCU, its successors and assigns, a non-exclusive perpetual easement for ingress, egress, utility and other purposes described herein, over and across the Alico-Agri Property described in Exhibit "C" for the benefit of the FGCU Campus and the Donation Parcel.
4. The easements conveyed herein to FGCU over and across the Miromar Property, the CDD Property, and Alico-Agri Property are collectively referred to as "the Easement Property" and collectively create a 100-foot wide easement connecting the FGCU Campus with the Donation Parcel and the future County Road 951 extension, as shown on the sketch attached hereto as Exhibit "D." The Easement Property may be constructed, maintained and used by FGCU, its successors and assigns, as a roadway (in the manner described in Section 5 below) for public purposes serving the needs of FGCU, subject to the terms and conditions of this Agreement. In connection with the construction of such roadway, FGCU may also construct any and all utilities deemed necessary by FGCU including, but not necessarily limited to, sewer, water, television and fiber optic cable, telephone, and water management facilities, and may install and maintain landscaping, trees and shrubbery within the Easement Property. The construction of any and all improvements on the Easement shall be coordinated with Miromar, the CDD and Alico-Agri in advance. Each of the parties shall have the right to connect to any utilities installed in the Easement. Any of the parties may upsize a utility

provided that such party pays for the cost of any increase in the size, number or quantity of the utility service. All landscaping plans, including, without limitation, the installation of all trees and shrubbery, shall be submitted to Miromar in advance for approval, which approval shall not be unreasonably withheld. The streetscape shall be compatible with and similar to the adjacent landscaping plans implemented by Miromar. FGCU may install lighting on the Easement provided such street lighting shall not exceed eighteen (18) feet in total height. A Lighting Plan shall be submitted to Miromar for review showing quantity, location, height, photometric calculations and manufacturer catalog cut-sheets documenting full cut-off characteristics of the lighting fixtures.

5. Any such roadway constructed by FGCU on the Easement Property shall be constructed and maintained at FGCU's sole cost and expense, and Miromar, CDD, and Alico-Agri shall have no obligation to pay any of the construction or maintenance costs of the roadway. Such roadway will be designed and constructed to include multi-modal transportation facilities for pedestrian, bicycle and public transit between the FGCU Campus and the Donation Parcel. All construction for the roadway will be provided within the Easement Property, including all slopes, embankments, shoulders and guardrails constructed as part of the roadway.

6. In connection with the design and construction of the roadway described above, FGCU, Alico-Agri, CDD and Miromar will coordinate for the following purposes: (a) to provide appropriate curb cuts and median crossings that will provide Alico-Agri, CDD and Miromar with reasonable access to their lands to the north and south of the Easement Property; (b) to provide any reasonably necessary connections and tie-ins to utility lines and service to the FGCU Campus, the Donation Parcel, the Alico-Agri Property and Miromar's ongoing residential development known generally as Miromar Lakes; (c) to maintain consistency and ensure full compliance with any and all permits and approvals now held, or hereinafter obtained, by Alico-Agri, Miromar and/or CDD from South Florida Water Management District or U.S. Army Corps of Engineers relating to their respective properties; and (d) to avoid or eliminate adverse impacts to the water management system and adjacent preserve areas of Miromar and CDD.

7. FGCU shall be responsible, at its sole cost and expense, for applying for and obtaining any and all permits and/or approvals from applicable federal, state and local governments that may be necessary or required for the construction of the roadway. Alico-Agri, Miromar and CDD agree to cooperate in good faith with FGCU in its pursuit of any necessary permit or approval, provided that Alico-Agri, Miromar and CDD shall not be required to pay any fees, charges or costs therefore. FGCU is expressly prohibited from and has no right to violate any federal, state, or local law, ordinance, or regulation controlling or otherwise dealing with the construction of the roadway. Any such violations shall be the sole responsibility of FGCU. FGCU shall be responsible for restoring, at its sole cost and expense, any adjacent property disturbed during the construction of the roadway. FGCU shall hold harmless and indemnify Alico-Agri, Miromar and CDD from and against any and all claims or damages to persons or property (including, without limitation, damages to other utilities, stormwater management systems, preserve areas or improvements) in any manner relating to the

construction or maintenance of the roadway within the Easement Property by FGCU, its agents or contractors.

8. In the event that the Easement Property is abandoned by FGCU or is determined by FGCU to be unusable for any reason, the easements granted herein shall terminate, and FGCU will convey back all rights to the Easement Property to each respective Grantor.

9. Without waiving its statutory defense of sovereign immunity or increasing its limits of liability as provided in Section 768.28, Florida Statutes, FGCU agrees to indemnify and hold harmless Alico-Agri, CDD and Miromar (as to each, an "Indemnified Party") and their officers, directors, managers, members and employees from any and all liability (statutory or otherwise), damages, claims, suits, demands, judgments, costs, interest and expenses (including, but not limited to, attorneys' fees, costs and disbursements both at trial and appellate levels) for injury or death to persons or damage to or loss of property arising out of or alleged to have arisen out of or occasioned by the use by FGCU, its patrons, employees, guests, customers, invitees and licensees of the easements described herein, unless such damage, injury or death shall have been due to the negligence or willful misconduct of an Indemnified Party, or the Indemnified Party's successors, assigns, agents, or invitees, in which case the indemnification obligation described herein shall not apply as to said Indemnified Party.

10. The easements, rights and privileges conveyed herein shall be perpetual and non-exclusive. Said easements shall run with the land, shall be for the benefit of the FGCU Campus and the Donation Parcel, and shall be binding upon Miromar, CDD and Alico-Agri, their successors and assigns.

11. This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. The venue for any legal or administrative proceeding regarding this Agreement shall be exclusively in Lee County, Florida. The prevailing party in any litigation arising out of this Agreement shall be entitled to recover its reasonable attorneys' fees and costs, both at trial and on appeal, from the non-prevailing party.

12. As to each of their respective properties described in Exhibits "A," "B," and "C," Grantors do hereby covenant and warrant to FGCU that Grantors are indefeasibly seized of their respective property in fee simple, that Grantors have full power and lawful right to convey the interests herein conveyed, that said property is free and clear of all encumbrances whatsoever, and that Grantors do hereby fully warrant the title to said land and will defend same against the lawful claims of all persons whomsoever.

13. This Agreement may be signed in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

IN WITNESS WHEREOF, the parties executed this Agreement as of the day and year first written above.

Signed, Sealed and Delivered
in the Presence of:

Hermine MEEKS

Witness

HERMINE MEEKS

Print/Type Name of Witness

Linda S. Davis

Witness

LINDA S. DAVIS

Print/Type Name of Witness

MIROMAR LAKES, L.L.C., a Florida
limited liability company

By: *JM*

name: Jerry Schmoyer

title: Vice President

STATE OF FLORIDA

COUNTY OF LEE

The foregoing instrument was acknowledged before me this 23 day of August, 2010, by Jerry Schmoyer, as Vice President of Miromar Lakes, L.L.C., a Florida limited liability company, on behalf of the company, who is personally known to me.

My Commission Expires:

Linda S. Davis

Notary Public LINDA S. DAVIS

Print/Type Name of Notary

Commission No: 00009240



Hermine MEEKS
Witness

HERMINE MEEKS
Print/Type Name of Witness

Linda S. Davis
Witness

LINDA S. DAVIS

Print/Type Name of Witness

MIROMAR LAKES COMMUNITY
DEVELOPMENT DISTRICT, an
independent special district established
pursuant to Chapter 190, Florida
Statutes

By: [Signature]

name: Timothy P. Byal

title: Chairman

STATE OF FLORIDA

COUNTY OF LEE

The foregoing instrument was acknowledged before me this 23 day of August, 2010, by Timothy P. Byal, as Chairman of Miromar Lakes Community Development District, an independent special district established pursuant to Chapter 190, Florida Statutes, on behalf of the district, who is personally known to me.

My Commission Expires:

Linda S. Davis

Notary Public

LINDA S. DAVIS

Print/Type Name of Notary



ALICO-AGRI, L.L.C., a Florida limited partnership

By: [Signature]

name: JD Alexander

title: managing partner

[Signature]
Witness

Den Schrottenboer
Print/Type Name of Witness

[Signature]
Witness

Pat Murphy
Print/Type Name of Witness

STATE OF FLORIDA

COUNTY OF Hendry

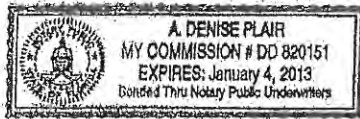
The foregoing instrument was acknowledged before me this 31st day of August, 2010, by JD Alexander, as managing partner of Alico-Agri, L.L.C., a Florida limited partnership, on behalf of the partnership, who is personally known to me or who has produced _____ as identification.

My Commission Expires:

[Signature]
Notary Public

A Denise Plair
Print/Type Name of Notary

Commission No: DD820151



FLORIDA GULF COAST UNIVERSITY
BOARD OF TRUSTEES, a public body
corporate established pursuant to
Chapter 1001, Florida Statutes

Ann Reuter
Witness

Ann Reuter
Print/Type Name of Witness

Maureen Jenny
Witness

MAUREEN JENNY
Print/Type Name of Witness

By: J. Shepard

name: JOSEPH SHEPARD

title: VP, ADMIN SERVICES
AND FINANCE

STATE OF FLORIDA

COUNTY OF LEE

The foregoing instrument was acknowledged before me this 9th day of AUGUST, 2010, by JOSEPH SHEPARD, as _____ of Florida Gulf Coast University Board of Trustees, a public body corporate established pursuant to Chapter 1001, Florida Statutes, on behalf of said entity, who is personally known to me or who has produced _____ as identification.

My Commission Expires:

Patricia M. Pasden
Notary Public

PATRICIA M. PASDEN
Print/Type Name of Notary

Commission No: DD 725299



EXHIBIT "A"

Miromar Property

"BASEMENT PARCEL #2"
NORTH ENTRANCE (100' WIDE)
LYING IN
SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

A TRACT OR PARCEL OF LAND BEING A PORTION OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 2285, PAGE 1288 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA AND LYING IN SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, DESCRIBED AS COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 13, THENCE RUN N 00°50'47" W, ALONG THE EAST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SAID SECTION FOR 420.00 FEET TO AN INTERSECTION WITH THE SOUTHEAST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3025, PAGE 2680, SAID PUBLIC RECORDS; THENCE CONTINUE N 00°50'47" W ALONG SAID EAST LINE FOR 247.81 FEET TO AN INTERSECTION WITH A NON-TANGENT CURVE; THENCE DEPARTING SAID EAST LINE, RUN WESTERLY ALONG AN ARC OF SAID CURVE HAVING A RADIUS OF 587.85 FEET (CHORD BEARING S 72°23'45" W) [CHORD BEARING S 72°23'45" W] FOR 255.30 FEET TO AN INTERSECTION WITH THE MOST EASTERLY CORNER OF PARCEL B-6205 DESCRIBED IN INSTRUMENT NUMBER 2008-00038850, SAID PUBLIC RECORDS AND THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING RUN THE FOLLOWING COURSES ALONG THE SOUTHERLY LINE OF SAID PARCEL B-6205: S 59°28'55" W FOR 23.54 FEET TO A POINT OF CURVATURE; SOUTHWESTERLY ALONG AN ARC OF SAID CURVE TO THE LEFT OF RADIUS 650.00 FEET (DELTA 33°12'27") [CHORD BEARING S 42°42'45" W] (CHORD 375.10 FEET) FOR 386.21 FEET TO A POINT OF TANGENCY; S 23°56'32" W FOR 290.50 FEET TO A POINT OF CURVATURE; SOUTHWESTERLY ALONG AN ARC OF SAID CURVE TO THE RIGHT OF RADIUS 460.00 FEET (DELTA 55°22'25") [CHORD BEARING S 59°07'46" W] (CHORD 492.84 FEET) FOR 321.30 FEET TO A POINT OF TANGENCY; N 87°41'00" W, DEPARTING SAID SOUTHERLY LINE OF PARCEL B-6205 AT 227.42 FEET FOR 345.28 FEET TO AN INTERSECTION WITH THE EASTERLY LINE OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3165, PAGE 1800, SAID PUBLIC RECORDS; THENCE RUN S 14°48'38" W, ALONG SAID EASTERLY LINE FOR 104.85 FEET; THENCE RUN THE FOLLOWING COURSES ALONG A LINE 100.00 FEET SOUTH OF (AS MEASURED ON A PERPENDICULAR), PARALLEL AND CONCENTRIC WITH SAID SOUTHERLY LINE AND ITS WESTERLY EXTENSION OF SAID PARCEL B-6205: S 07°41'00" E, FOR 370.94 FEET TO POINT OF CURVATURE; NORTHEASTERLY, ALONG AN ARC OF SAID CURVE TO THE LEFT OF RADIUS 550.00 FEET (DELTA 68°22'25") [CHORD BEARING N 58°07'46" E] (CHORD 802.42 FEET) FOR 637.15 FEET TO A POINT OF TANGENCY; N 23°56'32" E FOR 298.68 FEET TO A POINT OF CURVATURE; NORTHEASTERLY ALONG AN ARC OF SAID CURVE TO THE RIGHT OF RADIUS 650.00 FEET (DELTA 33°12'27") [CHORD BEARING N 42°42'45" E] (CHORD 375.10 FEET) FOR 321.87 FEET TO A POINT OF TANGENCY; N 53°28'55" E FOR 28.84 FEET TO A POINT OF CURVATURE; DEPARTING SAID PARALLEL LINE, RUN EASTERLY ALONG AN ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 407.95 FEET (DELTA 08°50'07") [CHORD BEARING N 03°58'32" E] (CHORD 73.31 FEET) FOR 73.38 FEET TO AN INTERSECTION WITH A NON-TANGENT CURVE AND THE SOUTHERLY LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3975, PAGE 2908; THENCE RUN NORTHWESTERLY ALONG SAID SOUTHERLY LINE AND ALONG AN ARC OF SAID CURVE TO THE LEFT OF RADIUS 500.00 FEET (DELTA 14°46'14") [CHORD BEARING N 55°10'02" W] (CHORD 128.51 FEET) FOR 128.30 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS: 3.80 ACRES, MORE OR LESS.

BEARINGS HEREINAFORE MENTIONED ARE BASED ON THE EAST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TO BEAR N 00°50'47" W.

THIS IS NOT A SURVEY

Michael A. Johnson
MICHAEL A. JOHNSON
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERT. NO. 15300

DATE SIGNED: _____
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER AND NOT VALID WITHOUT ALL SHEETS.

JOHNSON
ENGINEERING

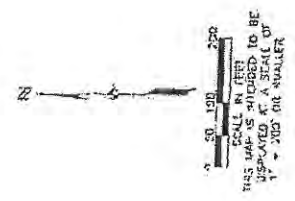
NORTH ENTRANCE (100' WIDE)
LYING IN
SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST,
LEE COUNTY, FLORIDA

1122 JOHNSON STREET
PO BOX 1550
1087 WINTER HAVEN, FLORIDA 33887-1550
PHONE (888) 734-3842
FAX (888) 334-3842
E-MAIL E@JENGIN.COM

"BASEMENT PARCEL #3"
DESCRIPTION

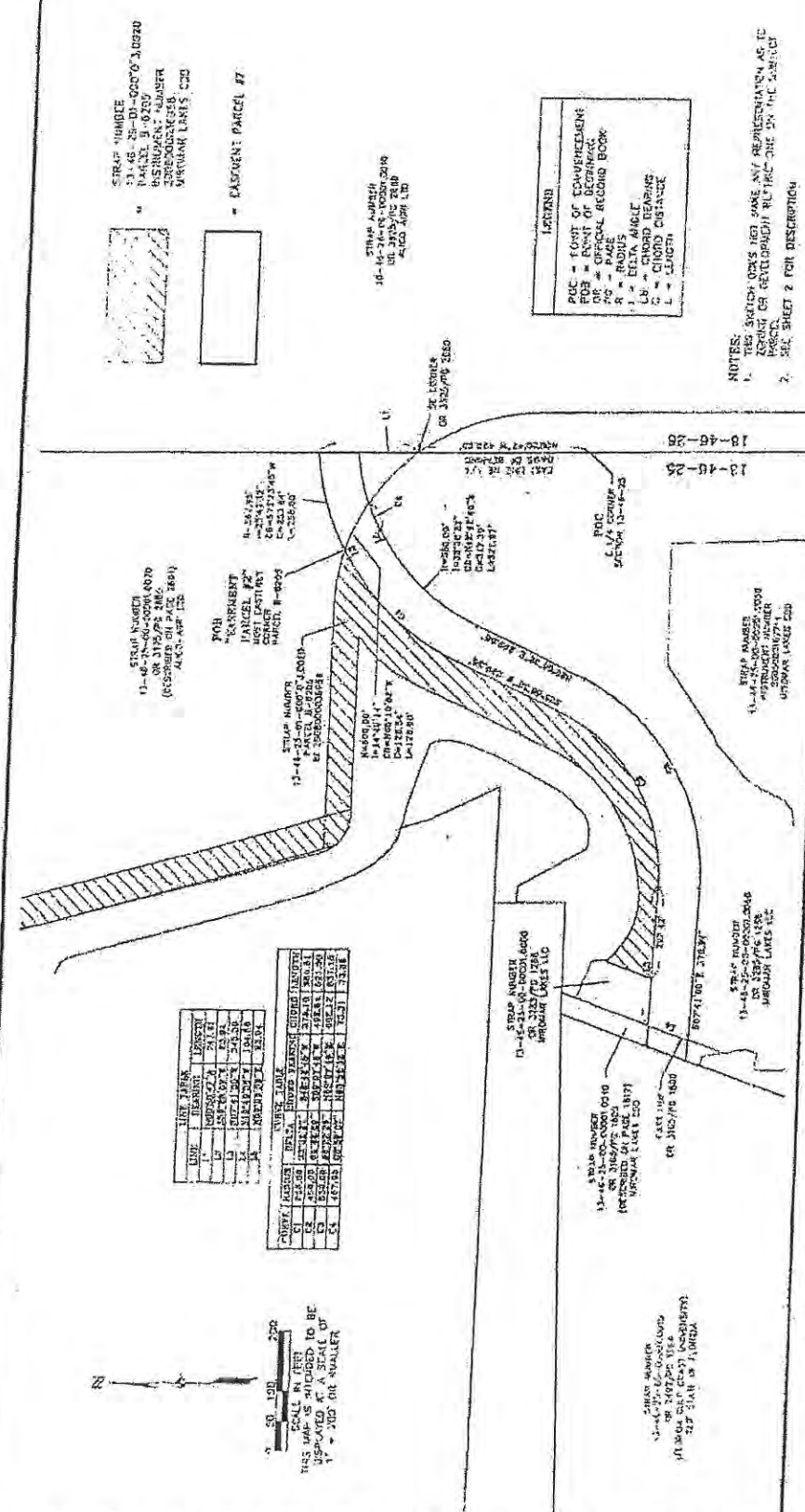
DATE	PROJECT NO.	DRAWING	SCALE	SHEET
04-20-10	2008-00038850	13-25	1"=40'	2 OF 3

5 2009247110000 43 NORTH-DIVANCE-REVISED-4-29-2010 DWG (SHEET 3-WEITH ENT-5947-1-24) NS AND 11, 2010 2 1/2



LINE	REMARKS	LENGTH
1	13-44-33-00-0007-0000	21.11
2	13-44-33-00-0007-0000	21.11
3	13-44-33-00-0007-0000	21.11
4	13-44-33-00-0007-0000	21.11

CURVE	ARC	CHORD	BEARING	CURVE	BEARING	CHORD	BEARING
C1	214.00	214.00	270.00	C1	214.00	214.00	270.00
C2	214.00	214.00	270.00	C2	214.00	214.00	270.00
C3	214.00	214.00	270.00	C3	214.00	214.00	270.00
C4	214.00	214.00	270.00	C4	214.00	214.00	270.00



LEGEND
 POC - POINT OF COMMENCEMENT
 OR - POINT OF BEGINNING
 OR - OFFICIAL RECORD BOOK
 PG - PAGE
 1 - BIRTH DATE
 LB - BIRTH NAME
 C - CHORD BEARING
 L - LENGTH

NOTES:
 1. THIS SURVEY WAS MADE BY REPRESENTATION AS TO
 EXISTING OR DEVELOPMENT UTILITIES AND THE SUBJECT
 PROJECT.
 2. SEE SHEET 2 FOR DESCRIPTION.

JOHNSON ENGINEERING

NORTH ENTRANCE (100' WIDE)
 LYING IN
 SECTION 13, TOWNSHIP 40, SOUTH RANGE 25, EAST,
 LEE COUNTY, FLORIDA.

2172 JOHNSON STREET,
 P.O. BOX 3830
 FORT MYERS, FLORIDA 33907-1074
 PHONE (813) 234-3046
 FAX (813) 234-3587
 E-MAIL (813) 234-3842

DATE	DATE	PROJECT NO.	SCALE	SHEET
12-11-2009	12-11-2009	13-44-33-00	1" = 200'	1 OF 2

"EASEMENT PARCEL #2"
 SKETCH TO ACCOMPANY DESCRIPTION

EXHIBIT "B"
CDD Property

SEASMENT PARCEL #3*
 NORTH ENTRANCE (100' WIDE)
 LYING IN
 SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST
 LEE COUNTY, FLORIDA

A TRACT OR PARCEL OF LAND BEING A PORTION OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3165, PAGE 1800 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA AND LYING IN SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 13, THENCE RUN N 0°25'47" W, ALONG THE EAST LINE OF THE NORTHEAST QUARTER, (NE-1/4) OF SAID SECTION FOR 420.00 FEET TO AN INTERSECTION WITH THE SOUTHEAST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3235, PAGE 2680, SAID PUBLIC RECORDS; THENCE CONTINUE N 0°50'47" W ALONG SAID EAST LINE FOR 247.91 FEET TO AN INTERSECTION WITH A NON-TANGENT CURVE; THENCE DEPARTING SAID EAST LINE, RUN WESTERLY ALONG AN ARC OF SAID CURVE AN INTERSECTION WITH THE MOST EASTERLY CORNER OF PARCEL B-6205 DESCRIBED IN INSTRUMENT NUMBER 2008000030899, SAID PUBLIC RECORDS; THENCE RUN THE FOLLOWING COURSES ALONG THE SOUTHERLY LINE OF SAID PARCEL B-6205: S 59°28'58" W FOR 236.00 FEET TO POINT OF CURVATURE, SOUTHWESTERLY ALONG AN ARC OF SAID CURVE TO THE LEFT OF RADIUS 650.00 FEET (DELTA 33°32'27") (CHORD BEARINGS S 47°12'25" W) (CHORD 375.10 FEET) FOR 380.53 FEET TO A POINT OF TANGENCY; S 25°56'02" W FOR 238.56 FEET TO A POINT OF CURVATURE, SOUTHWESTERLY ALONG AN ARC OF SAID CURVE TO THE RIGHT OF RADIUS 450.00 FEET (DELTA 69°22'28") (CHORD BEARINGS S 59°07'48" W) (CHORD 492.84 FEET) FOR 521.30 FEET TO A POINT OF TANGENCY; N 87°41'00" W, DEPARTING SAID SOUTHERLY LINE OF PARCEL B-6205 AT 227.42 FEET FOR 343.35 FEET TO AN INTERSECTION WITH THE EASTERLY LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3165, PAGE 1800 AND THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING CONTINUE N 87°41'00" W FOR 52.45 FEET TO AN INTERSECTION WITH THE EASTERLY LINE OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 2497, PAGE 1084 OF SAID PUBLIC RECORDS; THENCE RUN S 19°40'38" W ALONG SAID EASTERLY LINE FOR 104.86 FEET TO AN INTERSECTION WITH SAID EASTERLY LINE OF SAID PARCEL B-6205; THENCE RUN S 87°41'00" E FOR 52.45 FEET TO AN INTERSECTION WITH SAID EASTERLY LINE OF SAID PARCEL B-6205; THENCE RUN N 19°49'38" E ALONG SAID EASTERLY LINE FOR 104.86 FEET TO POINT OF BEGINNING.

PARCEL CONTAINS 0.12 ACRES, MORE OR LESS.

BEARINGS HEREAFTER MENTIONED ARE BASED ON THE EAST LINE OF THE NORTHEAST QUARTER (NE-1/4) OF SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA TO BEAR N 30°50'47" W.

THIS IS NOT A SURVEY

Michael A. Johnson
 MICHAEL W. JOHNSON (FOR 30' FROM LB-247)
 PROFESSIONAL SURVEYOR WITH VENDOR
 FLORIDA CERTIFICATE NO. 2505

DATE SIGNED: 11/11/11
 NOT VALID WITHOUT THE SIGNATURE AND THE
 PHYSICAL RAISED SEAL OF A FLORIDA LICENSED
 SURVEYOR AND MAPPER AND NOT VALID WITHOUT
 ALL SHEETS.

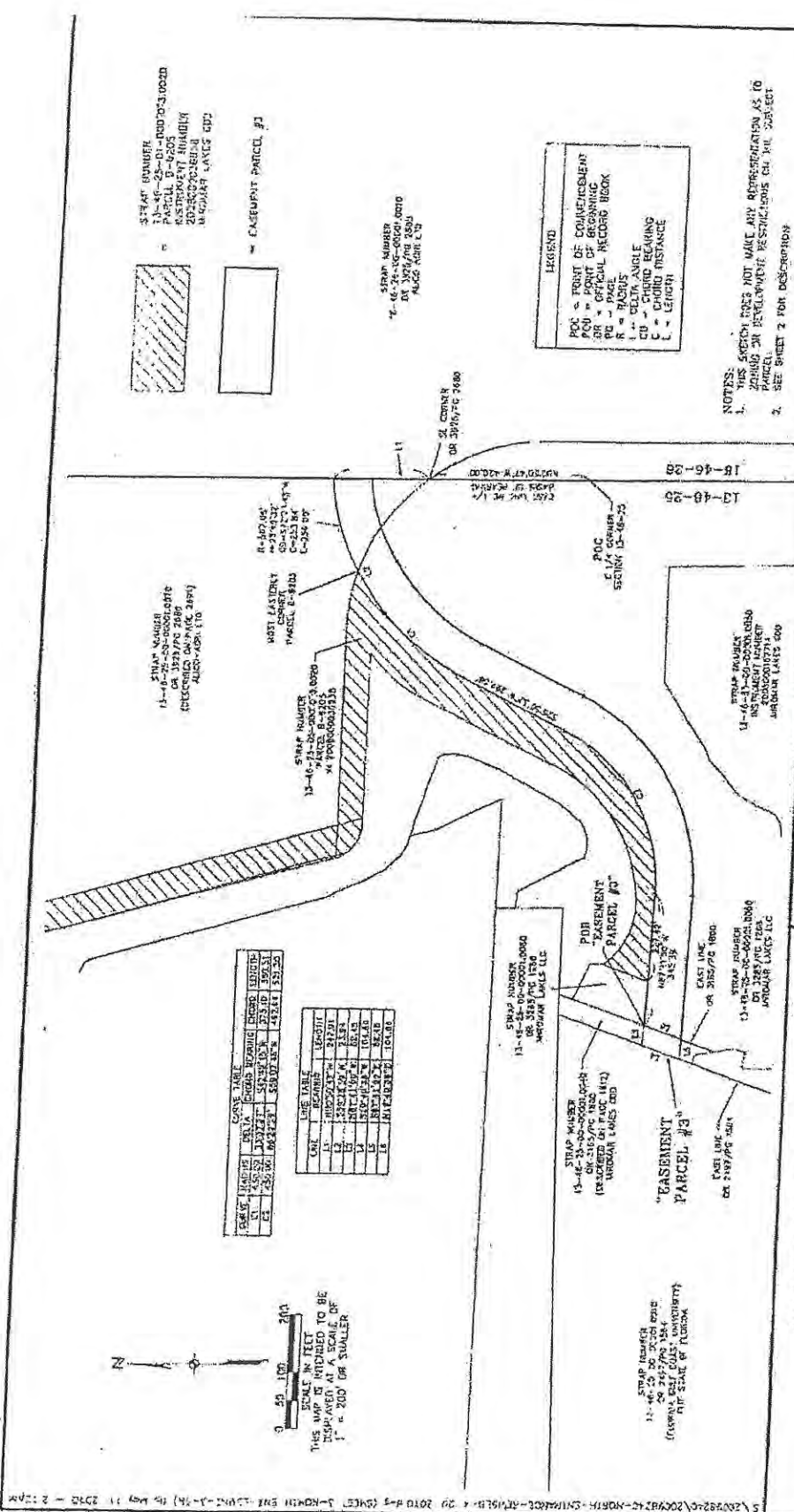
JOHNSON
ENGINEERING

NORTH ENTRANCE (100' WIDE)
 LYING IN
 SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST,
 LEE COUNTY, FLORIDA

7122 JOHNSON BLVD
 FORT WORTH, TEXAS 76103
 PHONE: (817) 334-3534
 FAX: (817) 334-3535
 E-MAIL: MJO@JEBE.COM

NO. 3074	NO. 14	SCALE	DATE
PROJECT NO.	DATE	1:1	11/11/11
EASEMENT PARCEL #3*			
DESCRIPTION			

2:\p0018\14012009\763-NORTH (S)\PLANET-663710-4-73-2010.dwg (3) 11/11/11 2:43:17 PM LWT-ESK/11-5-DESC) 1/6 11/11/11 2:43:17 PM



STRIP NUMBER
13-46-25-01-ROAD 23-10000
ON 1/11/00
203000000000
MAGNAN LAYNE GPS

EASEMENT PARCEL #1

STRIP NUMBER
13-46-25-01-ROAD 23-10000
ON 1/11/00
203000000000
MAGNAN LAYNE GPS

LEGEND
POC = POINT OF COMMENCEMENT
POB = POINT OF BEGINNING
PO = OFFICIAL RECORD BOOK
R = RADIUS
C = CHORD
L = LENGTH
C/A = CHORD ANGLE
C/L = CHORD LENGTH
C/R = CHORD RADIUS

NOTES:
1. THIS SKETCH DOES NOT MAKE ANY REPRESENTATION AS TO THE ACCURACY OF THE SURVEY.
2. SEE SHEET 2 FOR DESCRIPTION

STRIP NUMBER
13-46-25-01-ROAD 23-10000
ON 1/11/00
203000000000
MAGNAN LAYNE GPS

STRIP NUMBER
13-46-25-01-ROAD 23-10000
ON 1/11/00
203000000000
MAGNAN LAYNE GPS

STRIP NUMBER
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MAGNAN LAYNE GPS

STRIP NUMBER
13-46-25-01-ROAD 23-10000
ON 1/11/00
203000000000
MAGNAN LAYNE GPS

STRIP NUMBER
13-46-25-01-ROAD 23-10000
ON 1/11/00
203000000000
MAGNAN LAYNE GPS

LINE	BEARING	LENGTH
1	N 89° 52' 30" W	100.00
2	S 89° 52' 30" E	100.00
3	N 0° 00' 00" E	100.00
4	S 0° 00' 00" W	100.00
5	N 89° 52' 30" W	100.00
6	S 89° 52' 30" E	100.00
7	N 0° 00' 00" E	100.00
8	S 0° 00' 00" W	100.00
9	N 89° 52' 30" W	100.00
10	S 89° 52' 30" E	100.00
11	N 0° 00' 00" E	100.00
12	S 0° 00' 00" W	100.00
13	N 89° 52' 30" W	100.00
14	S 89° 52' 30" E	100.00
15	N 0° 00' 00" E	100.00
16	S 0° 00' 00" W	100.00
17	N 89° 52' 30" W	100.00
18	S 89° 52' 30" E	100.00
19	N 0° 00' 00" E	100.00
20	S 0° 00' 00" W	100.00

LINE	BEARING	LENGTH
1	N 89° 52' 30" W	100.00
2	S 89° 52' 30" E	100.00
3	N 0° 00' 00" E	100.00
4	S 0° 00' 00" W	100.00
5	N 89° 52' 30" W	100.00
6	S 89° 52' 30" E	100.00
7	N 0° 00' 00" E	100.00
8	S 0° 00' 00" W	100.00
9	N 89° 52' 30" W	100.00
10	S 89° 52' 30" E	100.00
11	N 0° 00' 00" E	100.00
12	S 0° 00' 00" W	100.00
13	N 89° 52' 30" W	100.00
14	S 89° 52' 30" E	100.00
15	N 0° 00' 00" E	100.00
16	S 0° 00' 00" W	100.00
17	N 89° 52' 30" W	100.00
18	S 89° 52' 30" E	100.00
19	N 0° 00' 00" E	100.00
20	S 0° 00' 00" W	100.00

SCALE IN FEET
THIS MAP IS INTENDED TO BE
DISPLAYED AT A SCALE OF
1" = 200' OR SMALLER

JOHNSON
ENGINEERING

NORTH ENTRANCE (100' WIDE)
LYING IN
SECTION 13, TOWNSHIP 40 SOUTH, RANGE 25 EAST,
LEE COUNTY, FLORIDA

2112 PAVENHUR STREET
P.O. BOX 1520
FORT WALKER, FLORIDA 33602-1520
PHONE (813) 334-5046
FAX (813) 334-3881
E.D. #02 & 4.5 1947

"EASEMENT PARCEL #1"
SKETCH TO ACCOMPANY DESCRIPTION

DATE MAY 2010
PROJECT NO. 20090240
SCALE 1" = 250'
SHEET 1 OF 1

EXHIBIT "C"
Alico-Agri Property

SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

A TRACT OR PARCEL OF LAND BEING A PORTION OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 1925, PAGE 2680 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA AND LYING IN SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 13, THENCE RUN N 60° 50' 47" W, ALONG THE EAST LINE OF THE NORTHEAST QUARTER (NE-1/4) OF SAID SECTION FOR 420.00 FEET TO AN INTERSECTION WITH THE SOUTHEAST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORD BOOK 1972, PAGE 2680, THENCE CONTINUE N 60° 50' 47" W ALONG SAID EAST LINE FOR 147.64 FEET TO THE POINT OF BEGINNING

FROM SAID POINT OF BEGINNING CONTINUE N 60° 50' 47" W ALONG SAID EAST LINE FOR 100.27 FEET TO AN INTERSECTION WITH A NON-TANGENT CURVE; THENCE DEPARTING SAID EAST LINE, RUN WESTERLY ALONG AN ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 507.96 FEET (DELTA 25° 49' 32") (CHORD BEARING S 72° 23' 45" W) (CHORD 253.84 FEET) FOR 356.00 FEET TO AN INTERSECTION WITH THE MOST EASTERLY CORNER OF PARCEL B-6205 DESCRIBED IN INSTRUMENT NUMBER 2008090036859, SAID PUBLIC RECORDS WITH THE NON-TANGENT CURVE; THENCE RUN SOUTHEASTERLY ALONG THE BOUNDARY OF SAID LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3026, PAGE 2680 AND ALONG AN ARC OF SAID CURVE TO THE RIGHT OF RADIUS 609.89 FEET (DELTA 15° 26' 14") (CHORD BEARING S 85° 10' 02" E) (CHORD 128.54 FEET) FOR 128.99 FEET TO AN INTERSECTION WITH A NON-TANGENT CURVE; THENCE RUN EASTERLY ALONG AN ARC OF SAID CURVE TO THE RIGHT OF RADIUS 487.95 FEET (DELTA 16° 01' 01") (CHORD BEARING N 70° 28' 38" E) (CHORD 130.38 FEET) FOR 130.81 FEET TO THE POINT OF BEGINNING. BEARINGS HEREBY MENTIONED ARE BASED ON THE EAST LINE OF THE NORTHEAST QUARTER (NE-1/4) OF SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TO BEAR N 60° 50' 47" W.

THIS IS NOT A SURVEY

Michael W. Hornsby
MICHAEL W. HORNSBY (FOR HIS FIRM ID-042)
PROFESSIONAL SURVEYOR AND CARTOGRAPHER
FLORIDA PROFESSIONAL SURVEYOR

LATE 5 GREAT
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER AND HIS FIRM'S PROFESSIONAL SEAL.

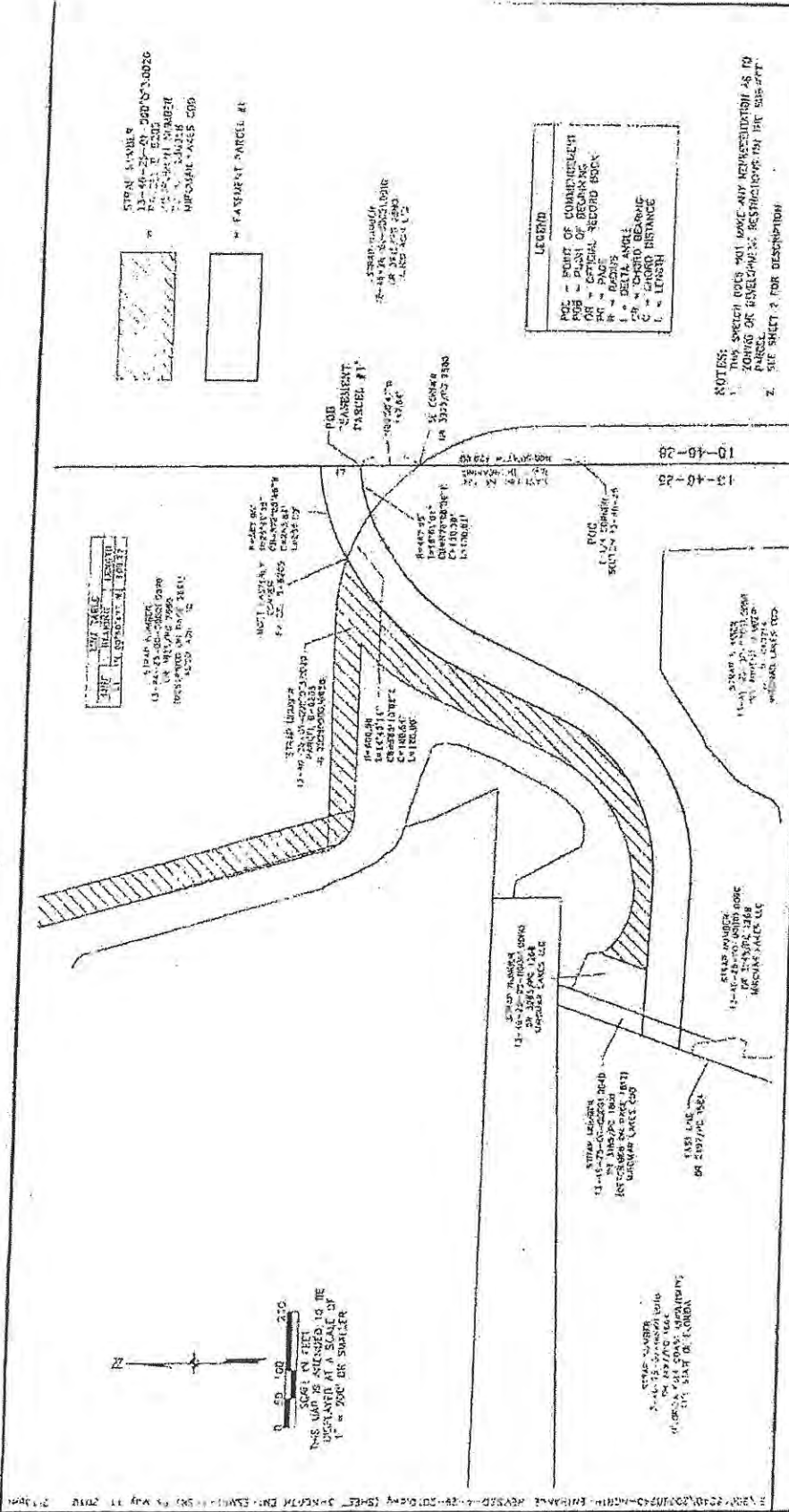
NORTH ENTRANCE (100' WIDE)
LYING IN
SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST,
LEE COUNTY, FLORIDA

JOHNSON
ENGINEERING

FREE CONSULTATION
OFFICE: 1000 N. GOLF COURSE BLVD., SUITE 100
MESA, AZ 85204
PHONE: 480.433.1234

TEASEMENT PARCEL #1

DATE	NOV 2 2010	PROJECT NO.	20090547	DATE	11-02-10	NO.	001	NO.	001
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JOHNSTON
 ENGINEERING

NORTH ENTRANCE (100' WIDE)
 LYING IN
 SECTION 14, TOWNSHIP 46 SOUTH, RANGE 25 EAST,
 LEE COUNTY, FLORIDA

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 13-40-97
 13-40-98
 13-40-99
 13-40-100

EXHIBIT "D"

Sketch of Easement Property

23292

August 3, 2016

CERTIFIED MAIL – RETURN RECEIPT REQUESTED

Miromar Lakes Community Development District (“CDD”)
James P. Ward, Manager
JP Ward and Associates, LLC
2041 N. E. 6th Terrace
Wilton Manors, FL 33305

Re: Coordination letter regarding the design and construction plans for the road interconnect between Florida Gulf Coast University and CenterPlace in Lee County, Florida

Dear Mr. Ward:

As you may be aware, on August 31, 2010 an “Ingress, Egress and Utility Easement Agreement” (“Easement”) (see attached) was entered into between and among Miromar Lakes, L.L.C. (Miromar”), Miromar Lakes Community Development District (“CDD”), Alico-Agri, LTD. (“Alico”) and Florida Gulf Coast University (“FGCU”). The purpose of the Easement was to provide FGCU with the ability to design and construct a roadway with attendant landscaping, lighting and utilities connecting the northeastern part of the FGCU campus with a project known as CenterPlace (“CP”). Within CP is a 40 acre parcel donated by Alico to FGCU. Pursuant to the Easement FGCU was charged with the obligation to design and construct this roadway.

The Easement also required that the construction of any and all improvements on the Easement shall be coordinated with the parties to the Easement Agreement in advance of the construction. The required coordination encompasses the following purposes: (a) to provide appropriate curb cuts and median crossings that will provide Alico-Agri (Alico), the CDD and Miromar with reasonable access to their lands north and south of the Easement Property; (b) to provide any reasonably necessary connections and tie-ins to utility lines and service to the FGCU Campus, the 40 acre parcel donated to FGCU, the Alico-Agri Property (Alico), and Miromar’s ongoing residential development known generally as Miromar Lakes; (c) to maintain consistency and ensure full compliance with any and all permits and approvals now held, or hereinafter obtained by Alico-Agri (Alico), Miromar and/or the CDD from South Florida Water Management District or the U.S. Army Corps of Engineers relating to their respective properties; and (d) to avoid or eliminate adverse impacts to the water management system and adjacent preserve areas of Miromar and the CDD.

As you may also be aware, on May 27, 2014 FGCU and Alico entered into an “Option and Construction Agreement for Road and Related Improvements” (“Option”) (see attached). The purpose of the Option was to give Alico the right, but not the obligation, to step into the shoes of FGCU and design and construct the roadway and appurtenant facilities referenced above.

James P. Ward, Manager
July 29, 2106
Page 2

Consistent with that original Easement from August 31, 2010 and the Option of May 27, 2014; Alico is herein enclosing two (2) complete sets of the proposed construction plans for the proposed roadway interconnection between the FGCU campus and CP. These plans are being provided to you pursuant to the coordination requirement found in the Easement. We are requesting that you and/or your consultants review these plans to determine what modifications, if any, are necessary to bring the plans into compliance with (a) through (d) in the above paragraph.

In furtherance of this coordination effort Alico is requesting that any and all comments, modifications, etc.. be returned to me at my address above no later than September 2, 2016. If we do not receive any comments from you by September 2, 2016 than we will deem the plans to be approved consistent with the Easement. Any comments received after that date will be deemed non-responsive and not in compliance with the terms of the Easement.


Thank you for your attention to this matter. Please let me know if you have any questions.

Sincerely,

BARRACO AND ASSOCIATES, INC.

Carl A. Barraco, P.E.
President

CAB/af
Enclosures
cc: Don Schrotenboer
Charles J. Basinait
23292

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<input checked="" type="checkbox"/> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.	A. Signature <input checked="" type="checkbox"/> <i>J. Ward</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
	B. Received by (<i>Printed Name</i>) <i>J. W.</i>	C. Date of Delivery
1. Article Addressed to: MIROMAR LAKES CDD Mr. James P. Ward, Mgr. JP Ward + Assoc., LLC 2041 N.E. 6th Terrace Wilton Manors, FL 33305	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
2. Article Number (Transfer from service label)	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. 4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	
7012 3460 0001 2172 9623		



NORTH
ALICO WEST

PENINSULA
PHASE II

MIROMAR
LAKES

PENINSULA
PHASE IV

MIROMAR LAKES
CDD BOUNDARY

PENINSULA
PHASE III

PENINSULA
PHASE IV

ACCESS EASEMENT
LOCATION

MIROMAR LAKES
CDD BOUNDARY

FLORIDA GULF COAST
UNIVERSITY

MIROMAR LAKES CDD
OWNED CONSERVATION
AREA

Miromar Lakes CDD
FGCU ACCESS EASEMENT
LOCATION EXHIBIT

FILE NO.: 2003.022

September, 2016



6200 Whiskey Creek Drive
Fort Myers, FL 33919
Phone : (239) 985-1200
Florida Certificate of Authorization No.1772
Naples · Fort Myers

Linda Davis2

From: Charlie Krebs <CharlieKrebs@hmeng.com>
Sent: Wednesday, August 17, 2016 12:31 PM
To: Glenn Smith
Subject: Miromar Lakes - Easement with FGCU

Glenn,

Here are my comments regarding the proposed roadway.

Sheet C4.0 – Description for box culverts reads “84 Lf of 8’ x 5’ Double Box Culvert & Wing walls per FDOT Index 289, 290, 291 & 292. Description on sheet C5.0 calls out 8’ x 5’ Box Culvert per Index per Index 292 but the profile view shows (2) – Double 8’ x 5’ box culverts. Please confirm the size and number box culverts.

Sheet C5.0 – Please provide applicable calculations demonstrating that the (2) 8x5 box culverts are sufficiently sized to convey the estimated discharge from Basin 5/6 as previously permitted by SFWMD Application #031222-5 without generating additional headloss.

Charles L. Krebs, P.E.

Project Manager/Associate
Hole Montes, Inc.
Engineering · Planning · Survey
(239) 985-1214 – Direct
(239) 985-1200 – Main Line
(239) 985-1259 – Fax
CharlieKrebs@hmeng.com
6200 Whiskey Creek Drive
Fort Myers, FL 33919 USA

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MARK W. GESCHWENDT
Vice President and General Counsel
e-mail: mgeschwendt@miromar.com

Direct Dial: (239) 390-5150

August 12, 2016

*Via Electronic Mail: Don@pegfl.net
And Federal Express*

Mr. Donald Schrotenboer
Private Equity Group, LLC
12800 University Drive, Suite 275
Fort Myers, Florida 33907

**RE: Approval of proposed plans associated with construction of
FGCU roadway**

Dear Don:

We are sending this letter pursuant to the requirements of the July 15, 2016 Settlement Agreement between Miromar and Alico. On July 29th, 2016, Private Equity Group, LLC sent Miromar Lakes, LLC a letter requesting approval of the design and construction of a roadway on an easement granted by Miromar Lakes to FGCU with attendant landscaping, lighting and utilities connecting the northeastern part of the Florida Gulf Coast University (FGCU) campus with CenterPlace (see Notice letter attached as Ex. A).

Based on the 15-day approval process, Miromar's response is due on August 15, 2016. [The capitalized terms in this letter have the same meaning as defined in your July 29 letter unless noted otherwise.] Pursuant to the Settlement Agreement, Miromar is permitted to provide comments on the plans, which Alico must address. If the parties cannot agree on any aspect of the plans, they have 15 days to negotiate a resolution and if a resolution cannot be reached, the dispute must be submitted to the Arbitrator for final decision.

MIROMAR DEVELOPMENT CORP.
10801 Corkscrew Road, Suite 305, Estero, Florida 33928 TEL.: (239) 390-5100 FAX: (239) 948-3667

ATTACHMENT 5

Comments on Plans

As a suggestion, we would be willing to meet or discuss by telephone or in person any of the issues raised below at your convenience in order to address or resolve these concerns as soon as possible. This may include having our engineers exchange information on the more technical issues.

Civil Engineering:

Sheet C3.0 - The Note refers to Design Plans prepared by Barraco and Associates Date 12-08-2015. We have not been provided these Design Plans. Please provide a copy of the referenced plans for review.

Sheet C4.0 - The Note refers to a Minor Change to DOS2016-00008. Please provide a copy of the DOS approved plans for this project.

Sheet C4.0 - The plans provide for discharge through an earthen weir. Please confirm whether this is intended to be a permanent facility or only temporary for the roadway project? If permanent, please provide water quality calculations supporting discharge via the earthen weir. The discharge appears to be directed to a very small conservation area under AWF ownership which in turn discharges directly into a Miromar Lakes conservation area. If this is the case, please provide the plans for water quality testing proposed to ensure water quality prior to discharge into the Miromar Lakes conservation area.

Sheet C4.0 - Coordinate Water Main connection point to Via Salerno Way cul-de-sac. It is our understanding that Lee County Utilities has expressed interest in a subaqueous crossing to complete the service loop for better water pressure. You may want to consider a point of connection immediately adjacent to the end of the cul-de-sac to provide flexibility in accommodating the Lee County Utilities request.

① ✓ Sheet C4.0 - Description for box culverts reads "84 Lf of 8' x 5' Double Box Culvert & Wingwalls per FDOT Index 289, 290, 291 & 292. Description on sheet C5.0 calls out 8' x 5' Box Culvert per Index per Index 292 but the profile view shows (2) - Double 8' x 5' box culverts. Please confirm the size and number of box culverts. The concern here is that the limited water flow contradicts SFWMD's requirement when Miromar constructed the weir outfall for an expanded discharge from Lake 6. To the extent that

it is inconsistent with the Miromar Lakes SFWMD permit, the design of the crossing of the Lake 6 discharge is an issue.

Sheet C4.0 - The current FDOT Design Standards for 2016 does not have an index for 290.

2

Sheet C5.0 - It appears that the proposed water main may be in conflict with the proposed box culverts. Our concern is that this may be in conflict with the SFWMD approval of the downstream construction of the discharge ditch and the size of the discharge. The Miromar permit required the 100 foot width and expansion of the downstream discharge area. To restrict that flow may violate the Miromar permit and we have an issue with the design to the extent that it is in conflict with the Miromar Lakes SFWMD Permit.

3

Sheet C5.0 - Please provide applicable calculations demonstrating that the (2) 8x5 box culverts are sufficiently sized to convey the estimated discharge from Basin 5/6 as previously permitted by SFWMD Application #031222-5 without generating additional head loss.

Sheet 6.0 - Station 117-00 Please provide additional detail as to how Rip Rap is supported by existing downstream lake. The Plans appear to require filling outside of the easement area. If this is true the parties need to discuss what is contemplated in order to support the Rip Rap installation and we are willing to discuss coordination of the construction. Confirm that existing Lake bottom is 12.0 as indicated. Please provide appropriate BMP's to protect existing water body during construction.

4

Sheet 6.0 / 6.1 / 6.3 - The Project appears to provide for filling Miromar property outside of the 100 foot easement, to which Miromar has an issue. Please clarify what is intended. There will be a hiatus between the edge of the easement area and the berm to the north. Who did you contemplate maintaining the landscape and irrigation for this area? This needs coordination to resolve.

The Easement provides for various curb cuts by Miromar Lakes. Please provide for proposed station +127-50. Miromar Lakes reserves the right to add additional curb cuts and tie-ins at a later date.

Landscape / Irrigation Plan:

⑤ ✓ North of the proposed access road, there is a gap between the easement and the top of the existing berm. The berm is currently maintained by the Miromar Lakes CDD. There should be a plan for managing the area outside of the easement to the north and the proposed improvements to the easement as part of the roadway. CDD

Sheet 2.1 - please provide additional landscape detail demonstrating planting (canopy and hedge material) proposed to screen traffic from view corridors within Miromar Lakes. i.e., vegetation does not exist on the north side of the roadway at the crossing location.

⑥ ✓ **Lighting**
Miromar has an issue with the lighting fixtures to the extent that they do not have full cut-off characteristics per the easement agreement. It appears that at each light pole location, there are more than 0.0 foot candles at the edge of the easement. In addition, the pole located at the crossing downstream of the weir seems to project light onto the water to the north. The lighting fixtures located at the water crossing south of the weir should contain additional shielding to limit point source and light spillage outside the easement directed to the North.

MAY 27, 2014 AGREEMENT

The Option and Construction Agreement for Road and Related Improvements ("Option Agreement") is dated May 27, 2014.

Under the Option Agreement, AWF was required to provide FGCU with certain documents for construction of the Roadway. Miromar Lakes would like to review those documents.

Par. 5, Sub. 1 provides that "[p]rior to the commencement of the work by AWF, AWF shall provide FGCU with schematic design plans for specifications prepared by AWF's contractor, engineer or junior architect. Within 15 days, FGCU shall provide AWF with either written approval of such submitted plans or written disapproval of the submitted plans and specs stating in detail the reason for such disapproval and the corrections necessary to satisfy FGCU. Please provide a copy of approval and any comments by FGCU and any revised plans or specifications.

Par. 5, Sub. 2 - States the plans and specifications shall meet all the design standards and improvement requirements that would be imposed by Lee County for streets,

drainage, utilities and other infrastructure if the roadway were a publicly dedicated road. Please provide a copy of these plans and specifications.

The Easement shall have an infrastructure of water management facilities, landscaping, trees, shrubbery and lighting together with appropriate curb cuts and median crossings for access to FGCU. Additionally, the work shall incorporate a multi-modal design including bike paths, sidewalks and other pedestrian access ways within the easements. Please confirm that the plans reflect these requirements.

The Agreement says that AWF shall be solely responsible for constructing any water management facilities required by any applicable government authority to transport off-site any water runoff generated by the work. If any of the runoff flows into or over Miromar property, this is an issue pending review of your water management facilities and stormwater runoff calculations.

Under Paragraph 5 B, it states the following: After the approval of plans by FGCU, AWF may request changes in plans and specs from time to time with any changes subject to FGCU reasonable approval. If there are any material changes to the approved plans, we anticipate that AWF would review those with Miromar.

AUGUST 31, 2010 AGREEMENT

An Egress and Utility Easement Agreement dated August 31, 2010 ("Easement Agreement") was entered among Miromar Lakes LLC, Miromar Lakes Community Development District (CDD), Alico-Agri Limited and Florida Golf Coast University (FGCU). In your letter, you make reference to the Option and Construction Agreement dated May 27, 2014. I do not know if Miromar was aware of this Agreement prior to you attaching it to your letter, but to the extent that it conflicts in anyway with the Easement Agreement and the Settlement Agreement, this is an issue.

In Section 4, the Easement Agreement reflects an easement over and across Miromar property, the CDD property and the Alico-Agri-property, collectively referred to as the "easement property" and collectively creates a hundred-foot wide easement connecting the FGCU campus with the 40 acre parcel and a future county road - 951 extension as shown on Exhibit D.

9 ✓ Section 4 requires all landscaping plans, including without limitation, the installation of all trees and shrubbery to be submitted to Miromar in advance for approval as well as the landscape being compatible with and similar to the adjacent landscaping implemented by Miromar. Moreover under Section 4 any lighting plan, with a limit of 18 feet high street lighting, shall be submitted to Miromar for review. As noted above, it is an issue to the extent that the lighting fixtures are not full cut offs or that the photometric calculations show any light spillage outside of the easement.

Under Paragraph 6, in connection with the design and construction of the roadway the parties will coordinate for the following purposes:

- (a) To provide appropriate curbs, curb cuts and median crossings with reasonable access to the lands of all parties. We have provided our preliminary curb cut and reserve the right to add additional cuts and crossings.
- (b) To provide any reasonable and necessary connections and tie-ins to the utility lines. Our suggestions were noted above.
- 8 ✓ (c) To maintain consistency and insure full compliance of any and all permits and approvals held by the parties; and
- 9 ✓ (d) To eliminate adverse impacts to the water management system and adjacent preserve areas of Miromar and the CDD. Our comments were outlined above concerning discharge into our preserve areas and the constriction of the discharge from Lake 6 by the construction of the road and installation of the box culverts.

Conclusion

The comments to the actual plans are in the section designated "Comments on Plans." We have included comments on the underlying agreements that address specific areas of concern pending resolution of the issues raised in our comments.

If you have any questions or concerns, please feel free to contact me.

Very Truly Yours,

MIROMAR DEVELOPMENT CORPORATION



Mark W. Geschwendt

pc: Carl Barraco, P.E.
James P. Ward, Miromar Lakes CDD
Greg Urbancic, Esq.
Steve Magiera, FGCU

Planting Specifications

QUALITY: All plants shall be Florida No. 1 or better as given in Grades & Standards for Nursery Plants, Parts I and II, latest edition published by the Florida Department of Consumer Services.

RESEARCH: Contractor shall research plans and site to determine present location of utilities and obstructions before commencing work. Contractor shall ensure that before he commences work that all necessary permits have been obtained.

The contractor shall personally examine the project site and fully acquaint himself with all of the existing conditions in order that no misunderstanding may occur.

No Additional compensation will be granted, after bid has been let for any hardships the contractor may encounter in the performance of his duty. Any discrepancies or errors not addressed at the time of bid.

DRAWINGS: Drawings are part of this contract. Any discrepancies between the drawings and specifications shall be brought to the attention of the owner at time of bid.

SCOPE: Under this contract, the work consists of furnishing all labor, material, equipment, transportation, etc., to complete all landscaping work as shown on the Drawings, as included in the Plant List and as herein specified. Work shall include all construction and maintenance/watering of all planting areas of this Contract until accepted by the Owner.

The contractor shall be responsible for all planting/maintenance of plants until acceptance by Owner. Contractor shall protect all existing structure, plants etc., from damage during the construction process.

All damage shall be repaired at the contractors expense

WARRANTY: All trees shall be warranted for a period of 1 year. All shrubs and groundcovers shall be warranted for a period of 90 days, and sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance. All warranties shall be provided to the owner.

REPLACEMENT: All plant replacements shall be done with the same size and species of plant that was specified.

SAMPLES: Samples of any landscape material may be required for approval on the site or as otherwise determined by the Owner. Upon approval of samples (i.e. mulch, planting soil, plant varieties, etc.) by the Owner, delivery of material may begin. Approved samples shall be stored on the site and protected until furnishing of materials is completed. Plant samples be planted in permanent positions, but labeled as samples.

SUBSTITUTIONS: Any substitutions made for any reason must be approved by the owner.

WATER: It is the contractors responsibility to obtain and adequately water the plants during the duration of the installation phase. All plants shall be freshly dug, healthy and be well branched, free from disease and insects.

CONTAINER GROWN MATERIAL: All container grown materials shall be healthy vigorous, well rooted plants, and established in the container so that the root mass will retain its shape and hold together when removed from the container.

PALMS: Only a minimum number of fronds shall be removed from the crown of palm trees to facilitate moving and handling. Cabbage palm heads shall be tied with a burlap strip per the following procedure: The first (inside) row of fronds contiguous to bud shall be removed. The next 3-4 rows shall be tied to bud for support. The remaining (lower) fronds shall be removed. Tied fronds and bud tip shall not be clipped. Burlap strip shall be left in place until the tree is well established.

PALMS: Clear trunk (c.t.) shall be measured from the ground at time of installation to the point where the mature aged trunk joins the immature green portion of the tree. Caliper shall be measured at breast height. Overall height (OA) shall be measured from the ground at the time of installation to a point one-quarter the length of the unopened bud below the bud tip.

SHADE TREES: Height shall be measured from the ground to the avg. height of canopy. Spread shall be measured to the average outer edge. Single trunk trees shall be free from low-crotches.

SHRUBS: Height shall be measured from the ground to the average point where mature plant growth stops. Spread shall be measured to the end of branching equally across the shrub mass. Measurements are not to include any terminal growth.

SOD: Sod shall be measured on the basis of square footage. Contractor shall be responsible for coverage of the square footage shown on the plans.

SOD: Time delivery so that sod will be placed within 24 hours after.

MULCH: Apply 3" Pine Straw mulch to all planting areas. Keep mulch from piling up along the base of the tree and shrubs. Mulch to be measured after compaction.

FINE GRADING: The landscape contractor shall be responsible for fine grading of the site. This means that the site shall be brought within 1" of final grade so that the landscape contractor will be able to perform final grading. All landscape areas, sod areas, are to be fine graded.

PLANT LAYOUT: All bed areas shall have planting laid out prior to planting. The Landscape Architect shall review all layout prior to planting. If the bed and shrub layout is not inspected prior to planting, the Landscape Architect reserves the right to relocate the plants.

SOIL: Planting beds shall contain good soil, complete with organic sand mix. There shall be no construction debris, rock larger than 1" within bed areas. Soil shall be dark grey-brown in organic color and shall have good drainage characteristics. Soil within planting beds shall not be compacted. All compacted sub-base shell is to be removed from all landscape areas.

BACKFILL/SOIL MIX

50% decomposed organic matter (muck)	ANNUALS
50% existing soil	100% Potting Soil
pH: 5.5 - 7.0	

FERTILIZER: Two fertilizers shall be used in all types of plantings except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be 6-6-6 Nitrogen-Phosphorus-Potassium. Tablet Fertilizer (Agriform or equal) in 21 gr size, shall meet the following requirements: 20% Nitrogen, 10% Phosphorus, 10% Potassium. The two fertilizers will be applied at the following rates:

1. PLANT SIZE	6-6-6 "AGRIFORM" TABLET (21 GRAM)
1 gal.	1/4 lb.
3 gal.	1/3 lb.
7-15 gal.	1/2 lb.
1"-6" caliper	2 lbs./1" cal.
6" and larger	3 lbs./1" cal.

2. Magnesium sulfate or "Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper.

PRUNING: Each plant shall be pruned to complement the natural character of the tree. All dead and brown fronds, leaves, branches shall be removed.

TREE GUYING AND BRACING: Firmly stake or guy all trees in accordance with the plans and planting details immediately after planting to prevent wind damage.

WEED CONTROL: All landscape areas shall be free of nut grass, torpedo grass, and other noxious weeds.

PLANT MAINTENANCE: Contractor shall maintain all plants until final acceptance by owner.

CLEAN-UP: Contractor shall clean site area every day. The site shall be devoid of all rubbish, landscape debris, containers.

Notes

All Plants shall be Florida No. 1 Contractor Shall be familiar w/ the Landscape code and shall comply with all of its applicable requirements. Contractor shall verify all quantities indicated at time of bid. Contractor shall provide unit prices at time of bid. All contractors working on the project shall be licensed and fully insured as required. Tree and palm staking shall be removed between 6 and 12 months after planting.

PRUNING: Each plant shall be pruned to complement the natural character of the tree. All dead and brown fronds, leaves, branches shall be removed.

TREE GUYING AND BRACING: Firmly stake or guy all trees in accordance with the plans and planting details immediately after planting to prevent wind damage.

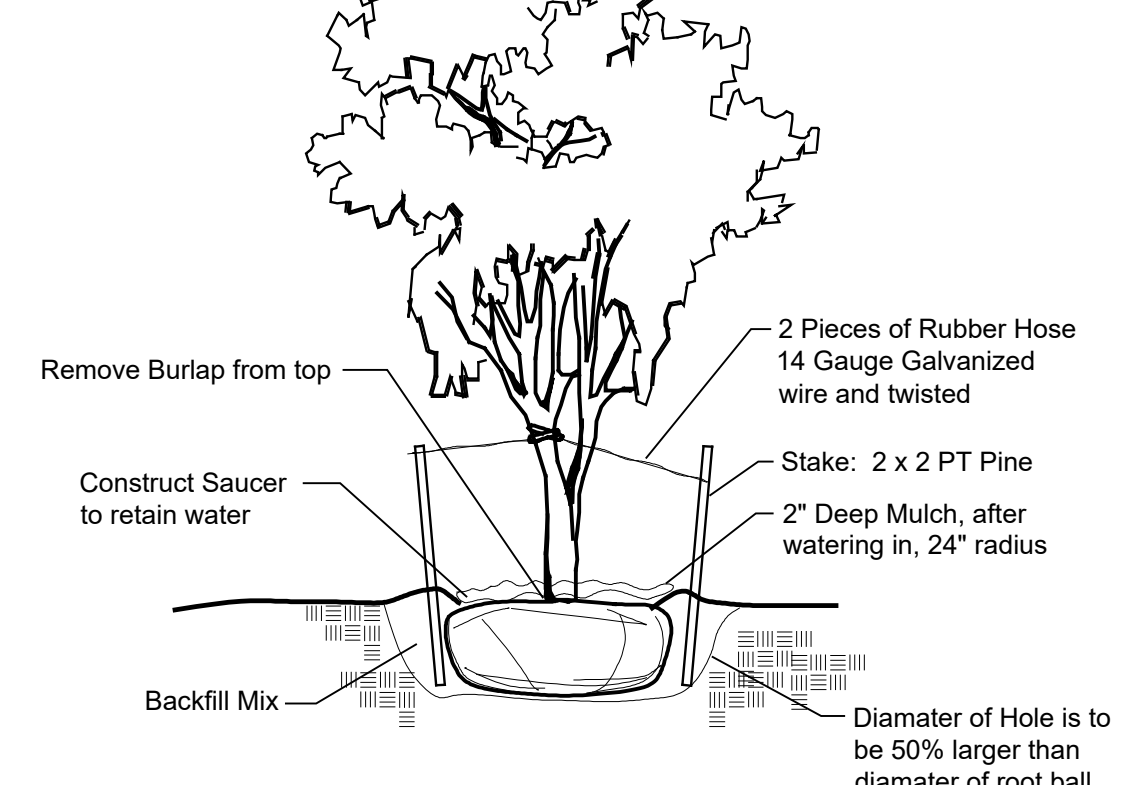
WEED CONTROL: All landscape areas shall be free of nut grass, torpedo grass, and other noxious weeds.

PLANT MAINTENANCE: Contractor shall maintain all plants until final acceptance by owner.

CLEAN-UP: Contractor shall clean site area every day. The site shall be devoid of all rubbish, landscape debris, containers.

Tree Staking Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



Plant List

Trees						
Qty	Sym	Botanical Name	Common Name	Specification	Native	Maintenance
12	DR12	Delonix regia	Royal Poinciana	12'-14' oa	N	Maintain tree form, remove dead branches only.
20	MG12	Magnolia grandiflora	Southern Magnolia Brown Brackens	12' oa, 6' apd, 2" cal	Y	Maintain tree form, remove dead branches only.
55	QV12	Quercus virginiana	Live Oak	12' - 14' oa, 5" spd, 2.5" cal	Y	Maintain tree form, remove dead branches only.
Shrubs						
48	CLU10	Ckusea gutifera	Small Clusea	10 gallon 48"	N	Maintain 6'
16	LL8	Ligustrum lucidum	Ligustrum	8' x 6' multi trunk	N	Maintain tree form, remove dead branches only.
Miscellaneous						
96000	SOD1	Stenotaphrum secundatum	St. Augustine Floritam Sod	Certified Disease & Insect Free		Mow turf 46 times per year
1800 SF	MUL2	Pine Straw	Pine Straw	3" thick		Mulch on an annual basis, replenish areas as necessary

Notes

- All Plants shall be Florida No. 1 or Better.
- Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
- All plants indicated in zones, C or S, are susceptible to damage from cold temperatures.
- Contractor shall maintain all plantings until acceptance by Owner.
- All beds shall be weed free until acceptance by owner. Wherever weeds are present in turf beds or landscape beds, a round application to kill these weeds before sodding or planting shall be required.
- All Trees and Palms shall be warranted for a period of 6 months. All Shrubs shall be warranted for a period of 90 days. All Sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance of project.
- All Sod shall be warranted for 30 days.
- It is the landscape contractor's responsibility to coordinate w/ the Irrigation contractor to ensure adequate coverage exists.
- Contractor shall install a Bio Barrier Fabric around all palms within 4' of pavement or planter walls, and all large canopy trees within 10' of a sidewalk.
- Contractor shall be licensed and insured.
- Contractor shall maintain site in a clean fashion and shall remove any waste that he creates.
- Landscape Contractor shall have a pre-construction review of plans w/ Landscape Architect prior to ordering plant material, to verify plans are current, and that no changes are necessary. Contractor shall also schedule a walk thru to allow Landscape Architect to review flagging and placement of all plant material prior to installation. These above mentioned meetings are important to the quality control of the project. Landscape contractor understands that if work commences without these meetings, that the owner and Landscape Architect have the ability to make field changes to the plans at the Landscape Contractors expense.
- General Contractor / Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
- General Contractor / Site contractor shall make certain all limerock, and excessively compacted soils shall be removed from planting beds.
- Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
- Landscape contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
- Contractor to confirm any pest (Deer, Rabbit, etc) issues prior to planting and provide appropriate solution to alleviate issue; ie, incorporate alternate plant materials.



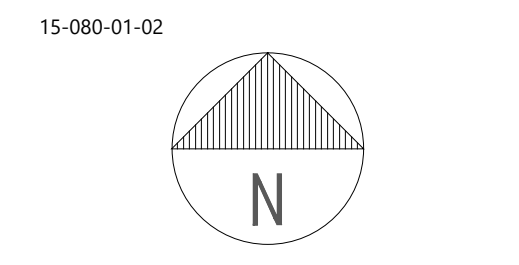
LANDSCAPE ARCHITECTURE
2780 S. Horseshoe Drive Suite 5
Naples, FL 34104
(239) 430-1661

License LC26000259
Christian Andrea

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FGCU Connector Road
 Alico West Fund LLC, Lee County, FL
PLANTING PLAN

▲1 Add Plints to culvert CA 8.24.16
Drawing Date: CA 6.28.16
Scale: 1" = 50'



Architectural Information Provided By: ----
Company Name: ----
File Name: ----
Date: ----
Site Information Provided By: ----
Company Name: ----
File Name: ----
Date: ----

2.0

Contractor to verify property lines and setbacks before construction. Contractor must have property lines staked and located, and must verify plan dimensions and field conditions are consistent. Any Inconsistencies w/ these plans need to be reported to ALD and the Owner. Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

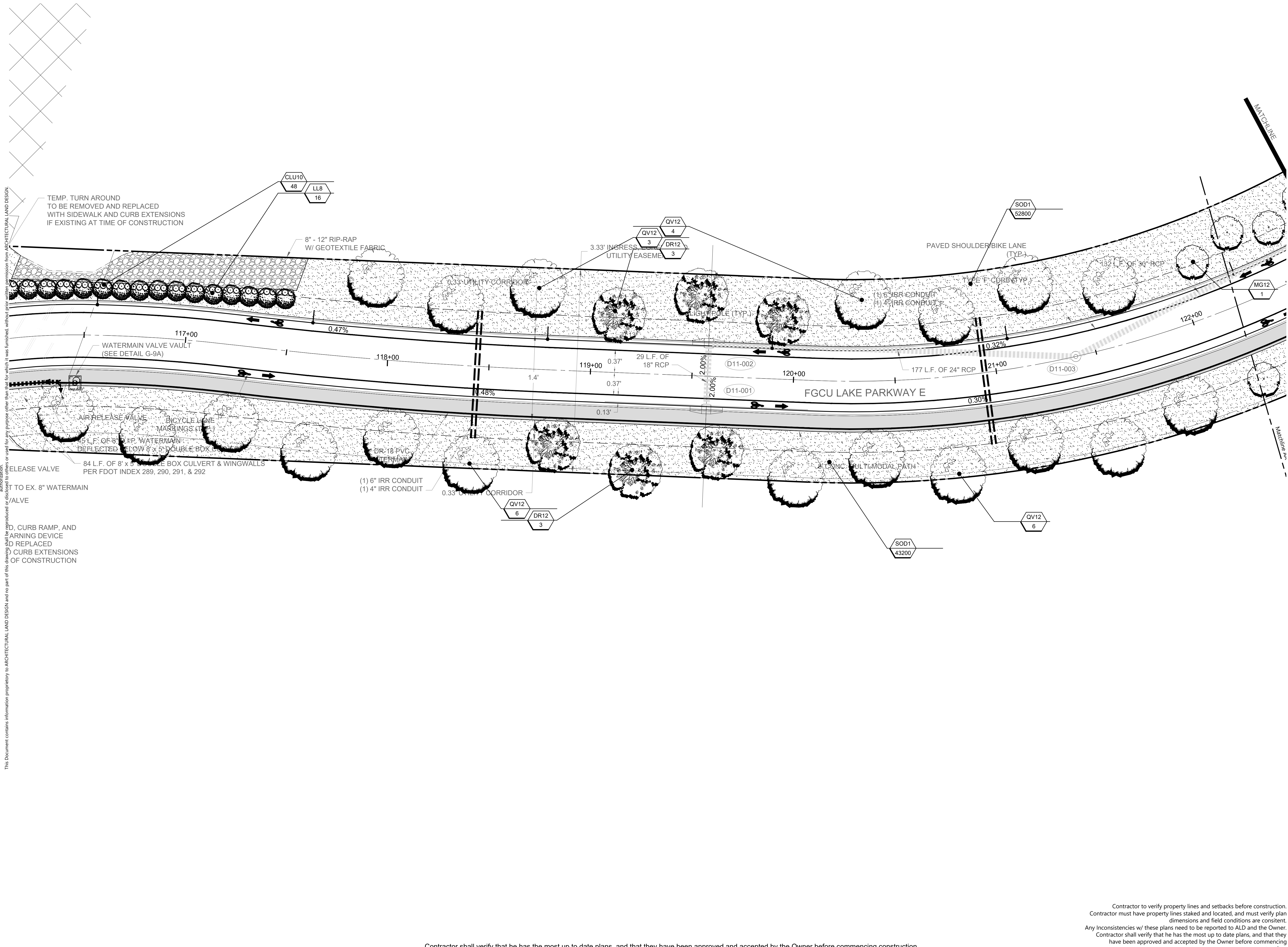
Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

FGCU Connector Road

Alico West Fund LLC, Lee County, FL

PLANTING PLAN

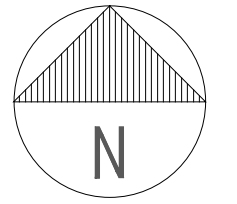
L15-080 - CenterPlace\15-080-01-03.dwg, 8/24/2016 7:39:53 PM, Christian, DWG To PDF.pc3
 L15-080 - CenterPlace\15-080-01-03.dwg, Plotted on 10/01/2009 / 05:48 PM by Christian
 L15-080 - CenterPlace\15-080-01-03.dwg, This drawing is the property of Architectural Land Design and may not be used or reproduced without
 Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. * All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. * Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.
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▲1 Add Plints to culvert CA 8.24.16
Drawing Date: CA 6.28.16

Scale: 1" = 20'-0"

15-080-01-02



File Name: 15-080-01-03.dwg

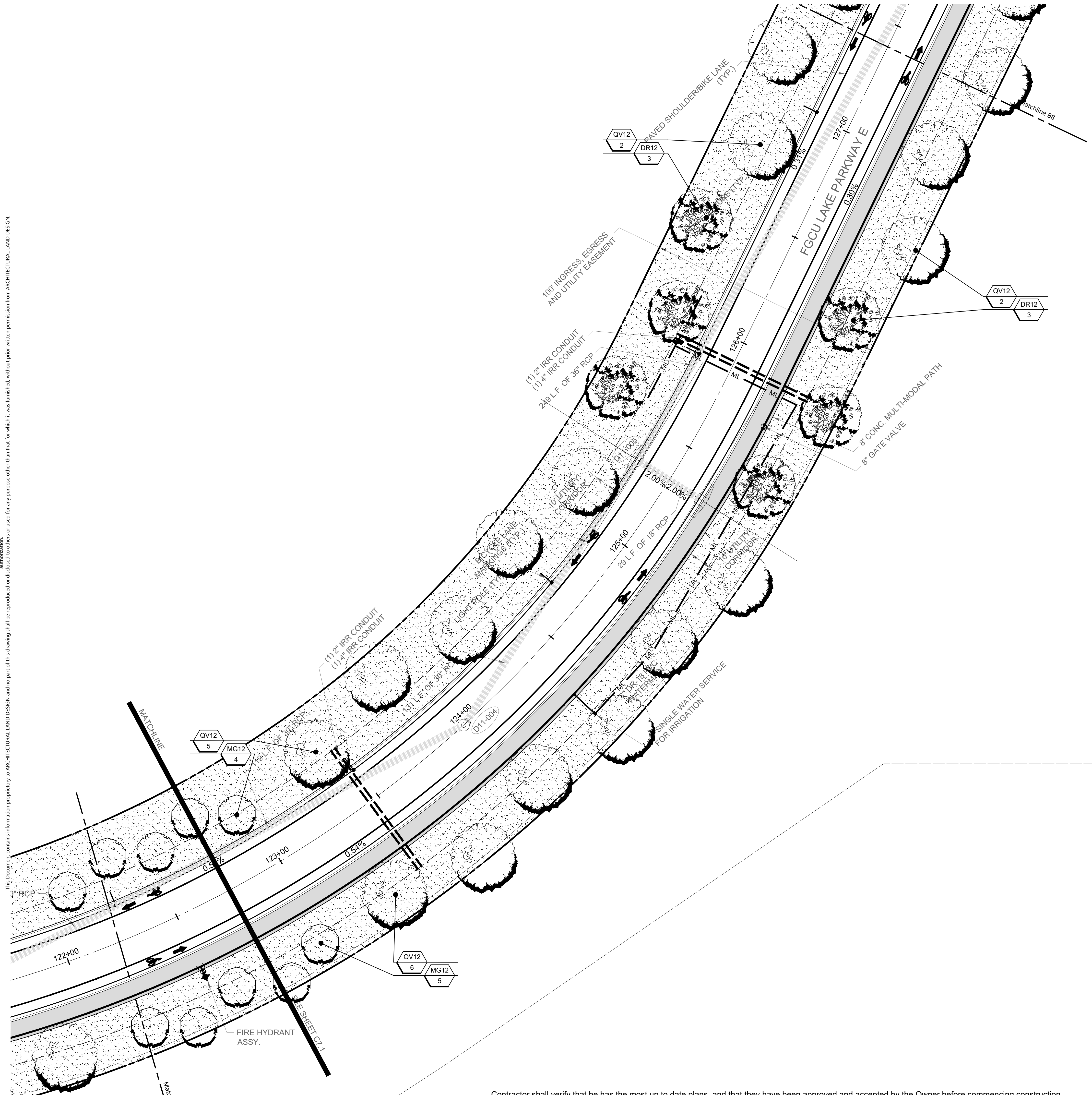
Architectural Information Provided By:	----
Company Name:	----
File Name:	----
Date:	----
Site Information Provided By:	----
Company Name:	----
File Name:	----
Date:	----

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2.1

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Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the contractor's responsibility to verify that he has the most current plan. * These plans are the property of Architectural Land Design and may not be used or reproduced without permission from Architectural Land Design. * Contractor shall not scale from plan, use dimensions only. * These plans are the property of Architectural Land Design and may not be used or reproduced without permission from Architectural Land Design. * This document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.



Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.



ARCHITECTURAL
LAND DESIGN
INCORPORATED
LANDSCAPE ARCHITECTURE
2780 S. Horseshoe Drive Suite 5
Naples, FL 34104
(239) 430-1661

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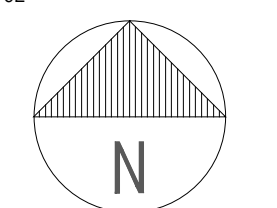
FGCU Connector Road

Alico West Fund LLC, Lee County, FL

PLANTING PLAN

▲1 Add Plints to culvert CA 8.24.16
Drawing Date: CA 6.28.16
Scale: 1" = 20'

15-080-01-02



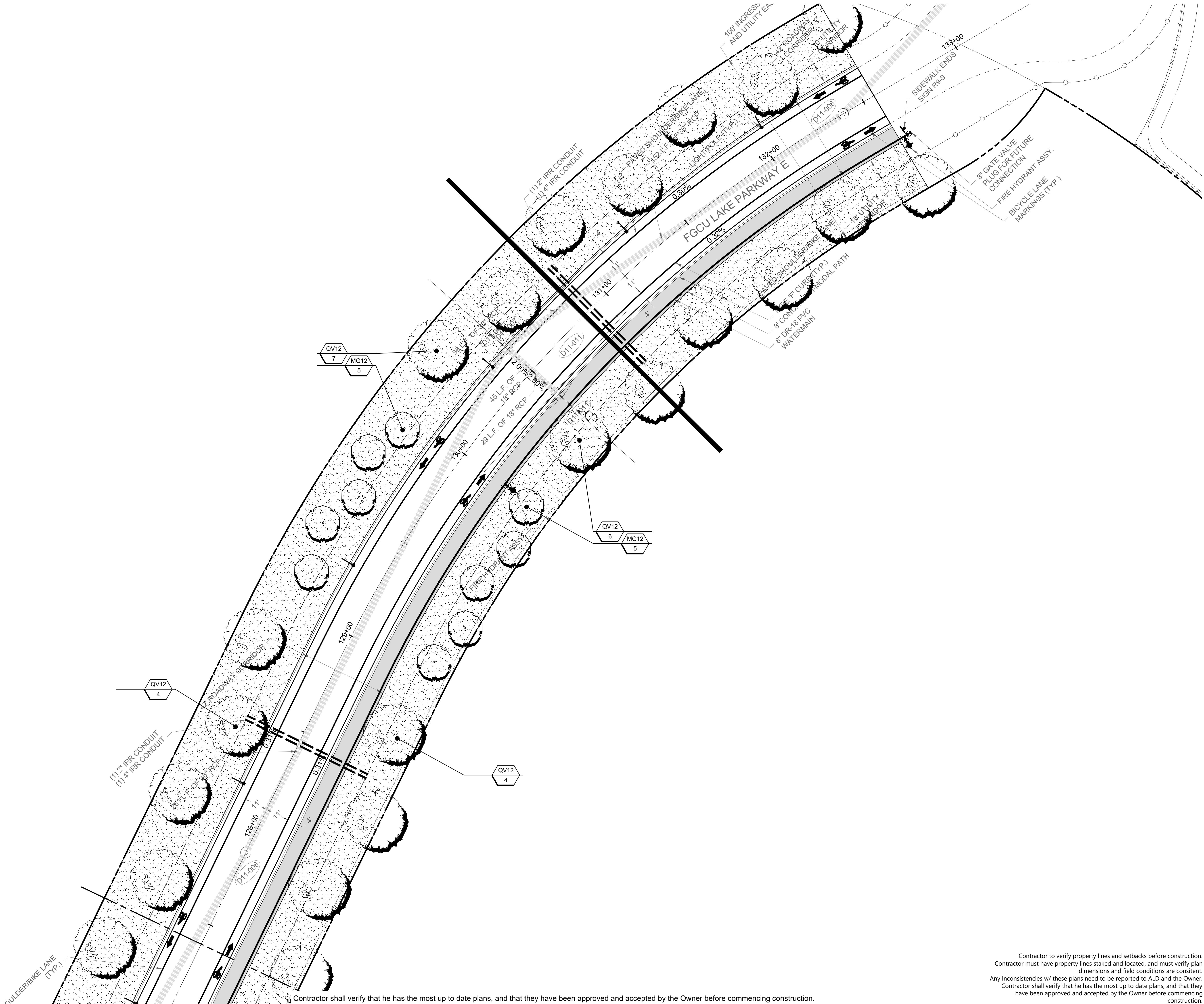
File Name: 15-080-01-03.dwg

Architectural Information Provided By:	----
Company Name:	----
File Name:	----
Date:	----
Site Information Provided By:	----
Company Name:	----
File Name:	----
Date:	----

2.2

Contractor to verify property lines and setbacks before construction. Contractor must have property lines staked and located, and must verify plan dimensions and field conditions are consistent. Any inconsistencies w/ these plans need to be reported to ALD and the Owner. Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

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 (239) 430-1661

License LC26000259
 Christian Andrea

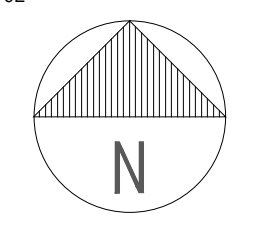
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FGCU Connector Road

Alico West Fund LLC, Lee County, FL

PLANTING PLAN

▲1 Add Plints to culvert CA 8.24.16
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 15-080-01-02



File Name: 15-080-01-03.dwg
 Architectural Information Provided By:
 Company Name: ----
 File Name: ----
 Date: ----
 Site Information Provided By:
 Company Name: ----
 File Name: ----
 Date: ----

SITE DEVELOPMENT PLANS

FOR

FLORIDA GULF COAST UNIVERSITY CONNECTOR ROAD

PART OF SECTION 13, TOWNSHIP 46 SOUTH, RANGE 25 EAST
FORT MYERS, LEE COUNTY, FLORIDA

PROJECT DATA

SITE ADDRESS ACCESS EASEMENT MIROMAR LAKES, FL 33913	PROJECT DATUM STATE PLANE FLORIDA WEST ZONE (NAD1983) (NSRS2007) NORTH AMERICAN VERTICAL DATUM (NAVD) 1988 CONVERSION NGVD - 1.16 = NAVD
ZONING N/A	RECORD PLAT UNPLATTED
FLOOD ZONE ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 12071C0582F, EFFECTIVE DATE: AUGUST 28, 2009, THE SUBJECT PARCEL IS LOCATED IN A PANEL NOT PRINTED - NO SPECIAL FLOOD HAZARD AREAS.	STRAP NUMBERS 13-46-25-00-00001.0060

PERMIT REQUIREMENTS

AGENCY	STATUS	NOTES
S. FLORIDA WATER MANAGEMENT DISTRICT	APPROVED	PERMIT NO. 36-03568-P APP. NO. 140124-13
LEE COUNTY DEVELOPMENT ORDER	PENDING	-
FLORIDA DEPARTMENT OF HEALTH	PENDING	-
FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION	N/A	-
F.D.O.T. CONNECTION PERMIT	N/A	-
F.D.O.T. DRAINAGE CONNECTION PERMIT	N/A	-
F.D.O.T. UTILITY PERMIT	N/A	-
ARMY CORPS OF ENGINEERS	N/A	-
F.D.E.P. NOTICE OF INTENT	PENDING	-

NOTE: CONTRACTOR MUST OBTAIN AND KEEP ON FILE A COPY OF ALL PERMITS
REQUIRED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY

DESIGN TEAM

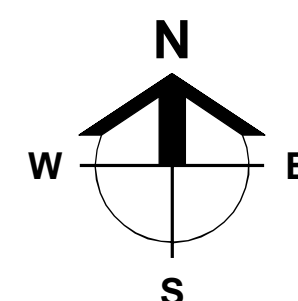
PROJECT ENGINEER WESLEY S. KAYNE, P.E.	PROJECT MANAGEMENT CHRIS VAN BUSKIRK
DESIGN ENGINEER -	PROJECT SURVEYOR SCOTT A. WHEELER, PSM
LEAD DESIGN TECHNICIAN -	SITE PLANNING -
DESIGN STAFF NATHANIEL K. FLESHER WALLACE PEYTON GAUSE III	LAND PLANNING -
QUALITY CONTROL CHRIS VAN BUSKIRK	RECORD DRAWINGS PENDING

THESE PLANS MAY HAVE BEEN MODIFIED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

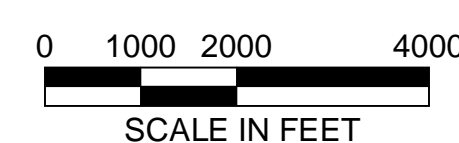
ALL DIMENSIONS ARE IN FEET.



PROJECT
LOCATION



LOCATION MAP



INDEX OF DRAWINGS

SHEET	DESCRIPTION	XREF	DRAWING NAME
C1.0	COVER SHEET AND LOCATION MAP	-	23371A01.DWG
C2.0	STANDARD NOTES, LEGEND AND ABBREVIATIONS	-	23371A02.DWG
C3.0	AERIAL PHOTOGRAPH AND EXISTING CONDITIONS PLAN	-	23371A06.DWG
C4.0	MASTER SITE, DRAINAGE, AND UTILITY PLAN	-	23371A10.DWG
C5.0-C5.2	PLAN AND PROFILES	-	23371A30A-30C.DWG
C6.0-C6.2	ROADWAY SECTIONS	-	23371A18A-18C.DWG
C7.0	TYPICAL SECTIONS, PAVING, AND DRAINAGE DETAILS	-	23371A20.DWG
C8.0	EROSION CONTROL DETAILS	-	23371A50.DWG
C9.0	STORMWATER POLLUTION PREVENTION PLAN	-	23371A52.DWG
C10.0-C10.1	UTILITY DETAILS	-	23371A70A-70B.DWG
C11.0-C11.1	LIGHTING PLAN KEY MAP AND DETAILS	-	23371A86A-86B.DWG

CROSS-REFERENCED DRAWINGS:

XREF	DESCRIPTION	DRAWING NAME
A	BASE LINEWORK PLAN	23371A00.DWG
B	AERIAL PHOTOGRAPH	23371A19.DWG
C	PROFILE BASE PLAN	23371A20.DWG

PLAN STATUS

APPROVAL SUBMITTAL PLANS
09/06/2016

Barraco
and Associates, Inc.

CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING - LANDSCAPE DESIGN

www.barraco.net

2271 MCGREGOR BLVD., SUITE 100
POST OFFICE DRAWER 2800
FORT MYERS, FLORIDA 33902-2800
PHONE (239) 461-3170
FAX (239) 461-3169

FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

ALICO WEST
FUND, L.L.C.

12800 UNIVERSITY DRIVE
SUITE 275
FORT MYERS, FLORIDA 33907

PHONE (239) 590-9066
FAX (239) 590-9065

PROJECT DESCRIPTION

FGCU
CONNECTOR
ROAD

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD

WESLEY S. KAYNE, P.E., FOR THE FIRM
FLORIDA P.E. NO. 80507 - WESK@BARRACO.NET

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FILE NAME J:\23371A01.DWG

LOCATION J:\23371A01.DWG\SPINEV

PLOT DATE TUE, 9-6-2016 - 10:50 AM

PLOT BY WES KAYNE

CROSS REFERENCED DRAWINGS

MASTER = BA1-COVER-1.DWG

PLAN REVISIONS

PLAN STATUS

APPROVAL SUBMITTAL PLANS
09/06/2016

COVER SHEET
AND
LOCATION MAP

PROJECT / FILE NO. SHEET NUMBER

23371 C1.0

STANDARD ABBREVIATIONS

NOTE: SEE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS INDEX 001 FOR ADDITIONAL ABBREVIATIONS NOT LISTED BELOW.

Table of standard abbreviations with columns for various categories like AASHTO, ABD., AC., etc., and their corresponding full names.

GENERAL NOTES

- List of general notes detailing construction requirements, including standards for drainage, utilities, erosion control, and signage.

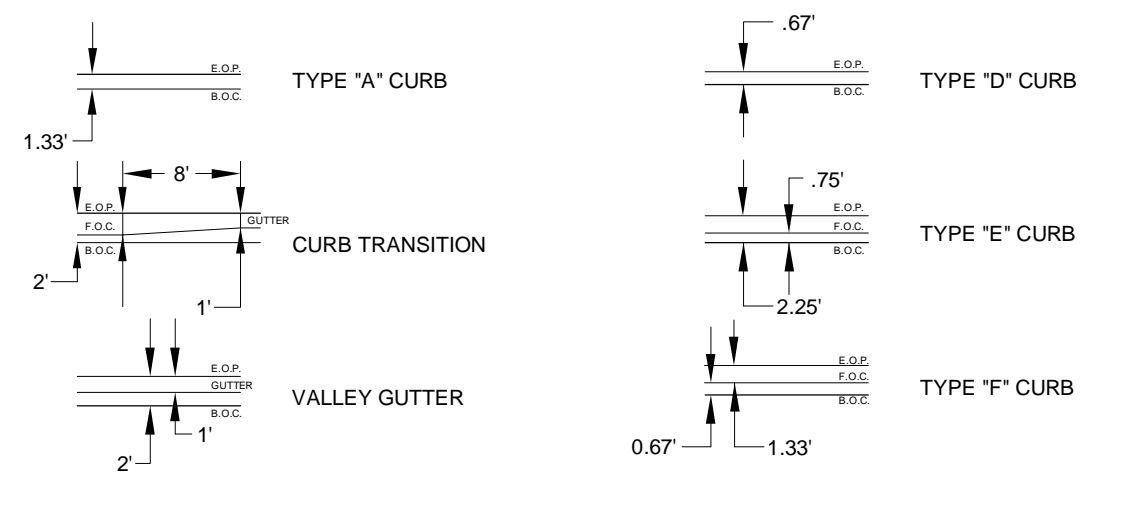
SYMBOL LEGEND

NOTE: THE SYMBOLS REPRESENTED BELOW ARE STANDARDS UTILIZED BY THIS FIRM AND NOT ALL ARE REQUIRED FOR THE SUBJECT PROJECT.

Table of symbols for drainage and utilities, including valley gutter inlets, drainage junction boxes, and sanitary sewer manholes.

Table of symbols for standard curb types, showing cross-sections for types A, D, E, and F.

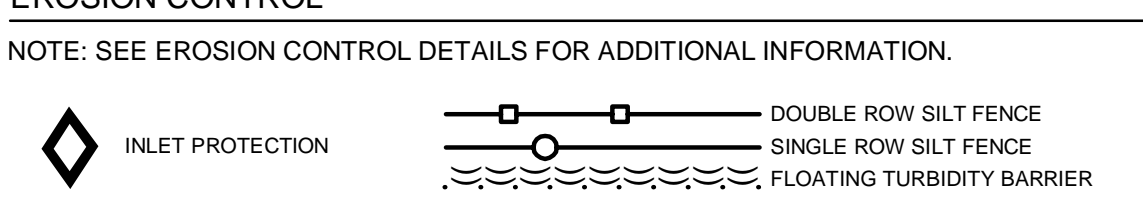
STANDARD CURB TYPES



SIGNAGE AND MARKINGS

Table of signage and markings symbols, including stop signs, yield signs, and various traffic control devices.

EROSION CONTROL



SURVEYING

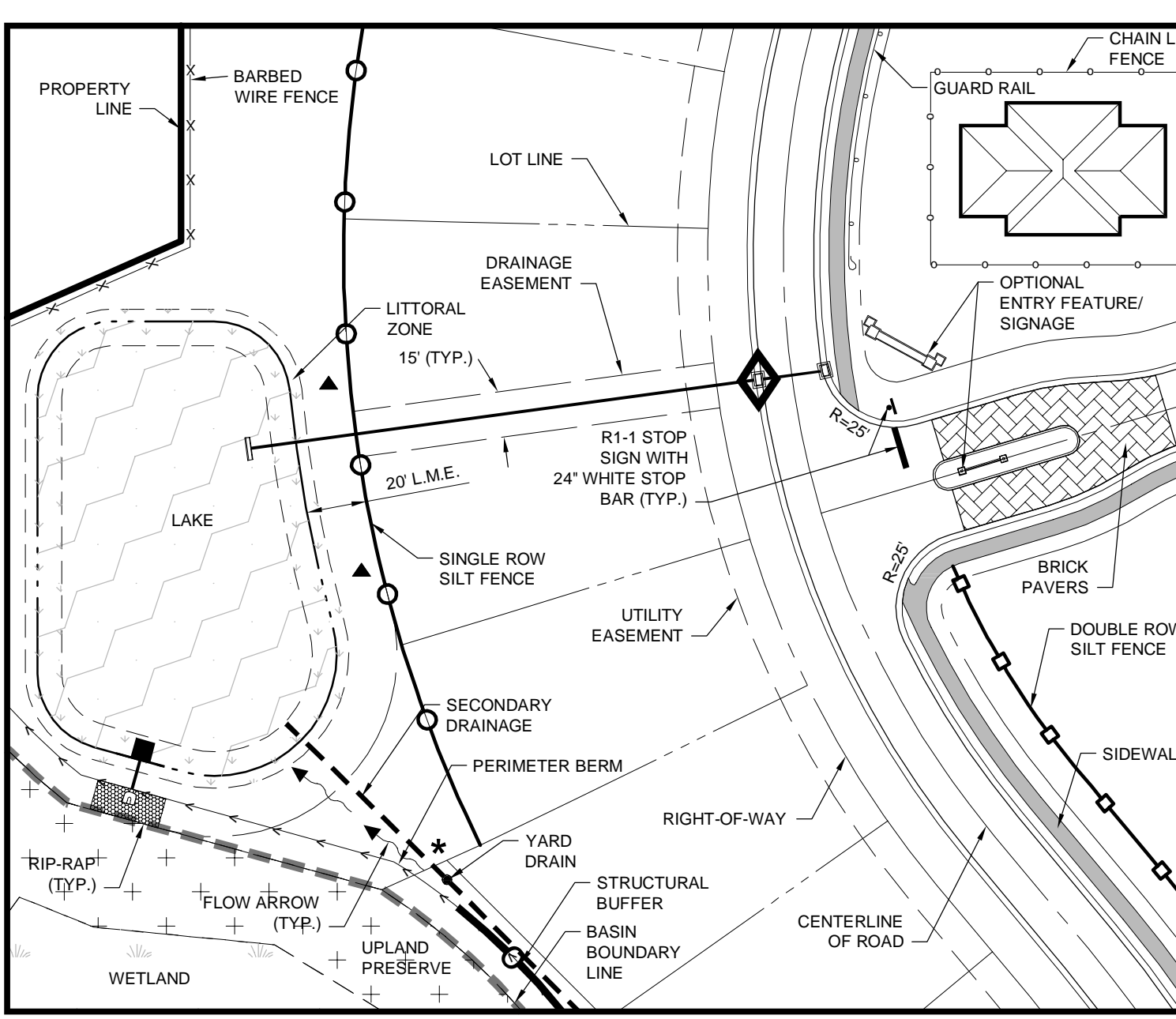
Table of surveying symbols, including found nails, gas line markers, and utility poles.

QUANTITIES AND PAYMENT

CONTRACTOR SHALL REFER TO THE BID TABULATION AND PROJECT TECHNICAL SPECIFICATIONS FOR NOTES REGARDING THE METHOD OF PAYMENT FOR SPECIFIC PAY ITEMS.

LINETYPE AND HATCHING LEGEND

NOTE: THE DRAWING BELOW IS PROVIDED AS ONLY AN EXAMPLE OF STANDARD LINETYPES AND HATCHING UTILIZED BY THIS FIRM AND IS NOT REPRESENTATIVE OF THE SUBJECT PROJECT.



STANDARD STREET SIGNS

THE SIGN LEGEND BELOW IS PROVIDED AS A GRAPHICAL REFERENCE TO ONE OR MORE OF THE SIGNS REQUIRED FOR THIS PROJECT.

Table of standard street signs including STOP, YIELD, ONE WAY, and various arrow signs, with their respective symbols and descriptions.

SIGNING AND PAVEMENT NOTES

- List of signing and pavement notes detailing requirements for signage placement, pavement markings, and material specifications.

NOTE: NOT ALL GENERAL NOTES, ABBREVIATIONS, SYMBOLS OR OTHER STANDARDS SHOWN ON THIS SHEET MAY BE APPLICABLE TO THIS PROJECT.

Barraco and Associates, Inc.

CIVIL ENGINEERING - LAND SURVEYING LAND PLANNING - LANDSCAPE DESIGN www.barraco.net

FLORIDA CERTIFICATES OF AUTHORIZATION ENGINEERING 7995 - SURVEYING LB-6940

ALICO WEST FUND, L.L.C.

12800 UNIVERSITY DRIVE SUITE 275 FORT MYERS, FLORIDA 33907

PHONE (239) 590-9066 FAX (239) 590-9065

PREPARED FOR

FGCU CONNECTOR ROAD

PART OF SECTION 13 TOWNSHIP 64 SOUTH, RANGE 25 EAST LEE COUNTY, FLORIDA

ENGINEER OF RECORD WESLEY S. KAYNE, P.E. FOR THE FIRM FLORIDA P.E. NO. 80567 - WSK@BARRACO.NET

Table of file location and plot date information.

Table of cross reference drawings.

MASTER = BA1-LEGEND-1.DWG

Table of plan revisions.

APPROVAL SUBMITTAL PLANS 09/06/2016

STANDARD NOTES, LEGEND, AND ABBREVIATIONS

Table with project/file number 23371 and sheet number C2.0.



NOTE:
 EXISTING CONDITIONS ARE BASED ON DESIGN PLANS PREPARED BY BARRACO AND ASSOCIATES DATED: 12-09-2015. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION TO DETERMINE IF PROPOSED IMPROVEMENTS HAVE BEEN CONSTRUCTED. EXISTING SITE CONDITIONS AT TIME OF CONSTRUCTION MAY AFFECT TIE-IN CONDITIONS.

Barraco and Associates, Inc.

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 LAND PLANNING - LANDSCAPE DESIGN
www.barraco.net
 2271 MCGREGOR BLVD., SUITE 100
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PROJECT DESCRIPTION

FGCU CONNECTOR ROAD

PART OF SECTION 13
 TOWNSHIP 46 SOUTH, RANGE 25 EAST
 LEE COUNTY, FLORIDA

ENGINEER OF RECORD
 WESLEY S. KAYNE, P.E., FOR THE FIRM
 FLORIDA P.E. NO. 80507 - WESKB@BARRACO.NET

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FILE NAME J:\23371\DWG\SPINE1
 LOCATION J:\23371\DWG\SPINE1
 PLOT DATE TUE, 9-6-2016 - 10:50 AM
 PLOT BY WES KAYNE

CROSS REFERENCED DRAWINGS
 EXISTING = 23115A00E.DWG
 BASEPLAN = 23115A00.DWG

PLAN REVISIONS	

PLAN STATUS
 APPROVAL SUBMITTAL PLANS
 09/06/2016

AERIAL PHOTOGRAPH AND EXISTING CONDITIONS

PROJECT / FILE NO.	SHEET NUMBER
23371	C3.0

GENERAL NOTES:

1. THE SITE CAN BE SAFELY USED FOR BUILDING PURPOSES WITH NO KNOWN DANGER FROM FLOODS OR ADVERSE SOIL OR FOUNDATION CONDITIONS SUBJECT TO SUBSURFACE SOIL EXPLORATION AND DESIGN OF EACH STRUCTURE BY AN ARCHITECT OR GEOTECHNICAL ENGINEER.
2. THERE ARE NO POTENTIAL IMPACTS TO GROUND AND SURFACE WATERS, WETLANDS OR FLOOD PLAINS/RIVERINE AREAS ANTICIPATED DUE TO CONSTRUCTION OF THIS PROJECT.
3. A VEGETATION REMOVAL PERMIT IS REQUIRED PRIOR TO ANY SITE WORK. PROTECTIVE BARRICADES MUST BE CONSTRUCTED AND INSPECTED PRIOR TO PERMIT ISSUANCE.
4. NO ADDITIONAL LEE COUNTY TRANSIT STOP IS REQUESTED FOR THIS PROJECT.
5. MAINTENANCE OF COMMON FACILITIES WILL BE THE RESPONSIBILITY OF FLORIDA GULF COAST UNIVERSITY.

GENERAL DRAINAGE NOTES:

1. THE LENGTH OF STORM DRAIN PIPES SHOWN ON PLANS ARE APPROXIMATE AND HAVE BEEN MEASURED FROM THE INSIDE FACE OF STRUCTURE.
2. THE CONTRACTOR IS REQUIRED TO ADJUST ALL EXISTING AND PROPOSED VALVE BOXES, MANHOLE RIMS, GRATES, ETC. AS REQUIRED TO MATCH PROPOSED GRADES.
3. ALL UNPAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED UNLESS NOTED OTHERWISE. WATERING WILL BE REQUIRED TO OBTAINING STABILIZATION / GROWTH AND TO PROVIDE DUST CONTROL.
4. EXISTING OFF-SITE DRAINAGE PATTERNS SHALL BE MAINTAINED DURING CONSTRUCTION.
5. SWALE PROFILES SHOWN ARE TO TOP OF SOD. CONTRACTOR TO ADJUST SWALE GRADING ACCORDINGLY.
6. SOD A 12" STRIP BEHIND ALL CONCRETE CURB AND VALLEY GUTTER AND AT EDGE OF PAVEMENT. REMAINING AREAS WITHIN THE DISTURBED AREA SHALL BE SEEDED, FERTILIZED AND MULCHED. SOD ALL SLOPES STEEPER THAN 4:1. STAKE SOD ALL SLOPES STEEPER THAN 3:1 WITH THE EXCEPTION OF THOSE AREAS SHOWN AS RIP-RAP.
7. THE CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIAL ENCOUNTERED FROM FILL AREAS PRIOR TO PLACEMENT OF FILL. ALL UNSUITABLE MATERIAL EXCAVATED SHALL BE STOCKPILED OR REMOVED AS DIRECTED BY OWNER.
8. YARD DRAINS SHALL BE ADDED IN GREEN AREAS AS NECESSARY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR ENGINEER.

UTILITIES PROVIDING SERVICE:

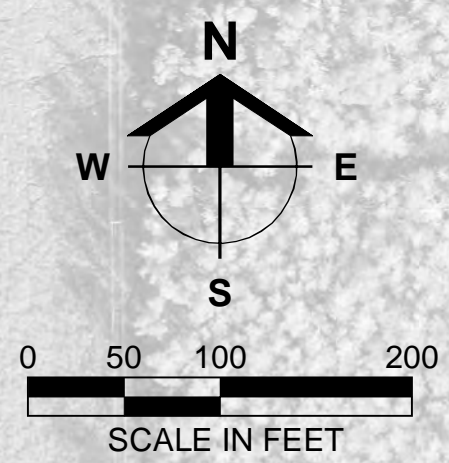
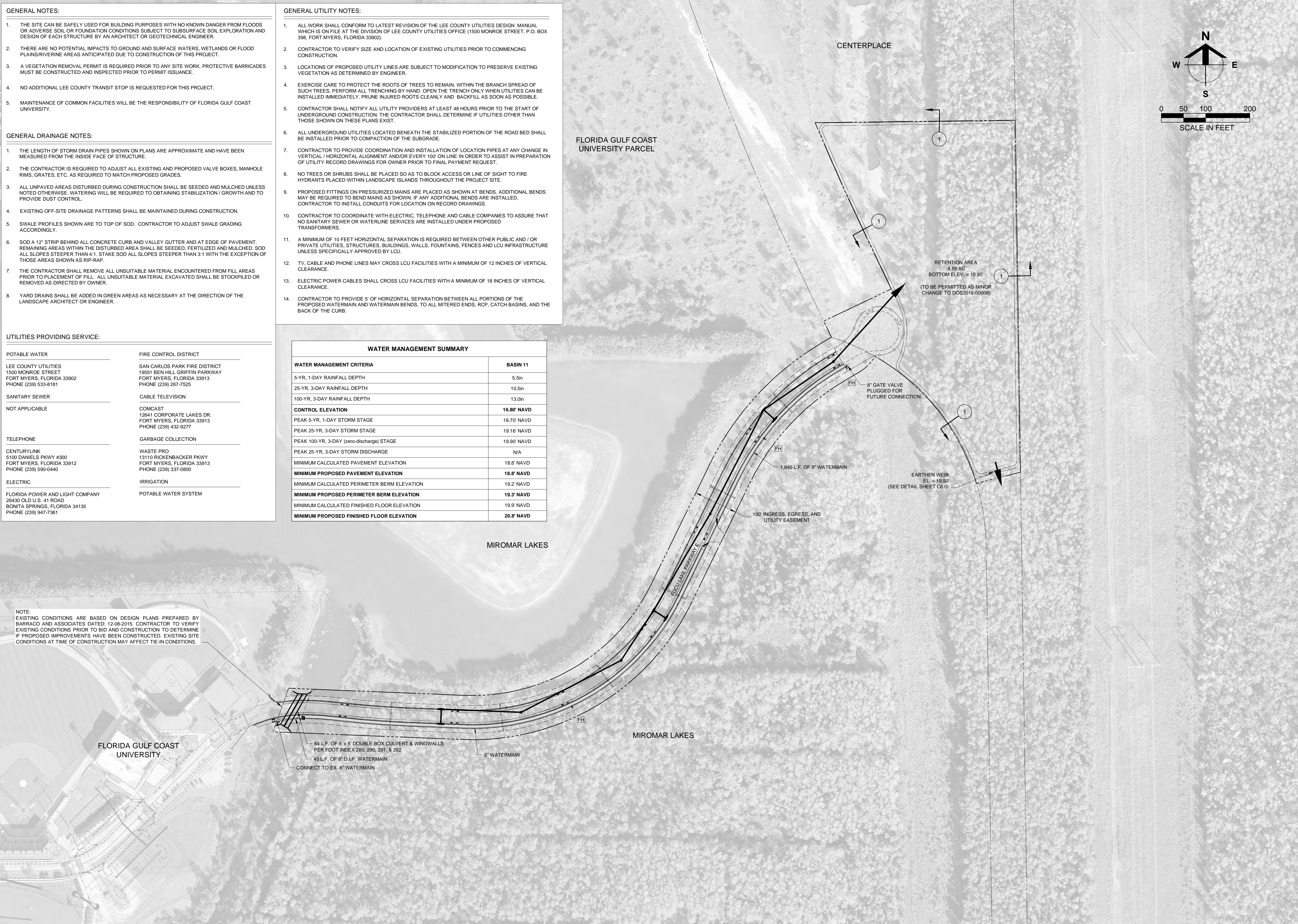
POTABLE WATER	FIRE CONTROL DISTRICT
LEE COUNTY UTILITIES 1500 MONROE STREET FORT MYERS, FLORIDA 33902 PHONE (239) 533-8181	SAN CARLOS PARK FIRE DISTRICT 19591 BEN HILL GRIFFIN PARKWAY FORT MYERS, FLORIDA 33913 PHONE (239) 267-7525
SANITARY SEWER	CABLE TELEVISION
NOT APPLICABLE	COMCAST 12641 CORPORATE LAKES DR. FORT MYERS, FLORIDA 33913 PHONE (239) 432-9277
TELEPHONE	GARBAGE COLLECTION
CENTURYLINK 5100 DANIELS PKWY #300 FORT MYERS, FLORIDA 33912 PHONE (239) 550-0440	WASTE PRO 13110 RICKENBACKER PKWY FORT MYERS, FLORIDA 33913 PHONE (239) 537-0900
ELECTRIC	IRRIGATION
FLORIDA POWER AND LIGHT COMPANY 26430 OLD U.S. 41 ROAD BONITA SPRINGS, FLORIDA 34135 PHONE (239) 947-7361	POTABLE WATER SYSTEM

GENERAL UTILITY NOTES:

1. ALL WORK SHALL CONFORM TO LATEST REVISION OF THE LEE COUNTY UTILITIES DESIGN MANUAL WHICH IS ON FILE AT THE DIVISION OF LEE COUNTY UTILITIES OFFICE (1500 MONROE STREET, P.O. BOX 398, FORT MYERS, FLORIDA 33902).
2. CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. LOCATIONS OF PROPOSED UTILITY LINES ARE SUBJECT TO MODIFICATION TO PRESERVE EXISTING VEGETATION AS DETERMINED BY ENGINEER.
4. EXERCISE CARE TO PROTECT THE ROOTS OF TREES TO REMAIN. WITHIN THE BRANCH SPREAD OF SUCH TREES, PERFORM ALL TRENCHING BY HAND. OPEN THE TRENCH ONLY WHEN UTILITIES CAN BE INSTALLED IMMEDIATELY. PRUNE INJURED ROOTS CLEANLY AND BACKFILL AS SOON AS POSSIBLE.
5. CONTRACTOR SHALL NOTIFY ALL UTILITY PROVIDERS AT LEAST 48 HOURS PRIOR TO THE START OF UNDERGROUND CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE IF UTILITIES OTHER THAN THOSE SHOWN ON THESE PLANS EXIST.
6. ALL UNDERGROUND UTILITIES LOCATED BENEATH THE STABILIZED PORTION OF THE ROAD BED SHALL BE INSTALLED PRIOR TO COMPACTION OF THE SUBGRADE.
7. CONTRACTOR TO PROVIDE COORDINATION AND INSTALLATION OF LOCATION PIPES AT ANY CHANGE IN VERTICAL / HORIZONTAL ALIGNMENT AND/OR EVERY 100' ON LINE IN ORDER TO ASSIST IN PREPARATION OF UTILITY RECORD DRAWINGS FOR OWNER PRIOR TO FINAL PAYMENT REQUEST.
8. NO TREES OR SHRUBS SHALL BE PLACED SO AS TO BLOCK ACCESS OR LINE OF SIGHT TO FIRE HYDRANTS PLACED WITHIN LANDSCAPE ISLANDS THROUGHOUT THE PROJECT SITE.
9. PROPOSED FITTINGS ON PRESSURIZED MAINS ARE PLACED AS SHOWN AT BENDS. ADDITIONAL BENDS MAY BE REQUIRED TO BEND MAINS AS SHOWN. IF ANY ADDITIONAL BENDS ARE INSTALLED, CONTRACTOR TO INSTALL CONDUITS FOR LOCATION ON RECORD DRAWINGS.
10. CONTRACTOR TO COORDINATE WITH ELECTRIC, TELEPHONE AND CABLE COMPANIES TO ASSURE THAT NO SANITARY SEWER OR WATERLINE SERVICES ARE INSTALLED UNDER PROPOSED TRANSFORMERS.
11. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION IS REQUIRED BETWEEN OTHER PUBLIC AND / OR PRIVATE UTILITIES, STRUCTURES, BUILDINGS, WALLS, FOUNTAINS, FENCES AND LCU INFRASTRUCTURE UNLESS SPECIFICALLY APPROVED BY LCU.
12. TV, CABLE AND PHONE LINES MAY CROSS LCU FACILITIES WITH A MINIMUM OF 12 INCHES OF VERTICAL CLEARANCE.
13. ELECTRIC POWER CABLES SHALL CROSS LCU FACILITIES WITH A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE.
14. CONTRACTOR TO PROVIDE 5' OF HORIZONTAL SEPARATION BETWEEN ALL PORTIONS OF THE PROPOSED WATERMAIN AND WATERMAIN BENDS, TO ALL MITERED ENDS, RCP, CATCH BASINS, AND THE BACK OF THE CURB.

WATER MANAGEMENT SUMMARY		
WATER MANAGEMENT CRITERIA	BASIN 11	
5-YR, 1-DAY RAINFALL DEPTH	5.5in	
25-YR, 3-DAY RAINFALL DEPTH	10.5in	
100-YR, 3-DAY RAINFALL DEPTH	13.0in	
CONTROL ELEVATION	16.80' NAVD	
PEAK 5-YR, 1-DAY STORM STAGE	18.70' NAVD	
PEAK 25-YR, 3-DAY STORM STAGE	19.16' NAVD	
PEAK 100-YR, 3-DAY (zero-discharge) STAGE	19.90' NAVD	
PEAK 25-YR, 3-DAY STORM DISCHARGE	N/A	
MINIMUM CALCULATED PAVEMENT ELEVATION	18.8' NAVD	
MINIMUM PROPOSED PAVEMENT ELEVATION	18.8' NAVD	
MINIMUM CALCULATED PERIMETER BERM ELEVATION	19.2' NAVD	
MINIMUM PROPOSED PERIMETER BERM ELEVATION	19.3' NAVD	
MINIMUM CALCULATED FINISHED FLOOR ELEVATION	19.9' NAVD	
MINIMUM PROPOSED FINISHED FLOOR ELEVATION	20.8' NAVD	

NOTE:
EXISTING CONDITIONS ARE BASED ON DESIGN PLANS PREPARED BY BARRACO AND ASSOCIATES DATED: 12-08-2015. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION TO DETERMINE IF PROPOSED IMPROVEMENTS HAVE BEEN CONSTRUCTED. EXISTING SITE CONDITIONS AT TIME OF CONSTRUCTION MAY AFFECT TIE-IN CONDITIONS.



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FAX (239) 461-3169

FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

ALICO WEST FUND, L.L.C.

12800 UNIVERSITY DRIVE
SUITE 275
FORT MYERS, FLORIDA 33907

PHONE (239) 590-9066
FAX (239) 590-9065

PROJECT DESCRIPTION

FGCU CONNECTOR ROAD

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD
WESLEY S. KAYNE, P.E., FOR THE FIRM
FLORIDA P.E. NO. 80567 - WSK@BARRACO.NET

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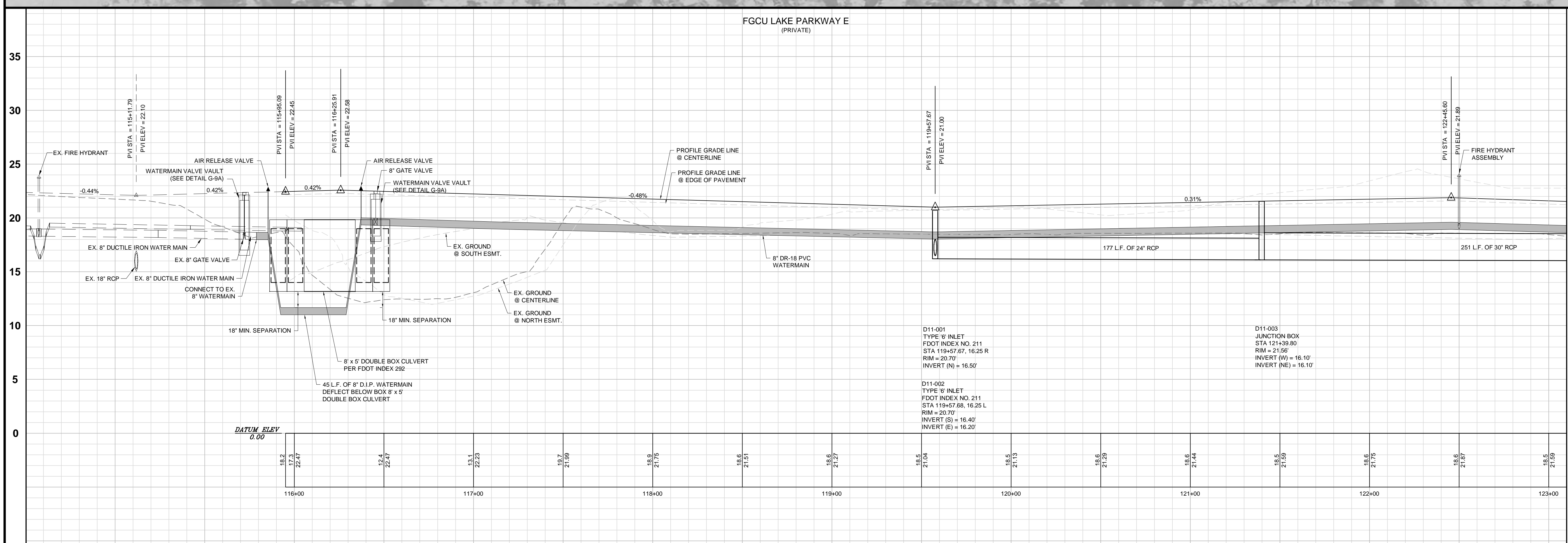
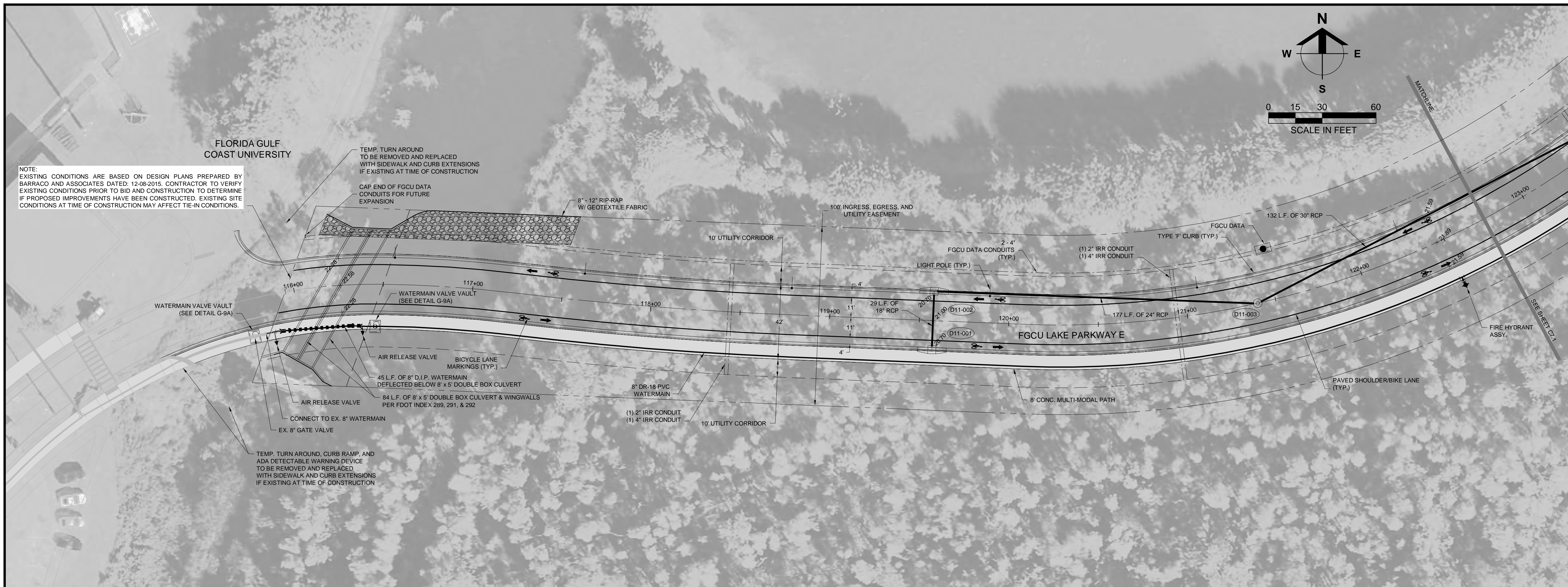
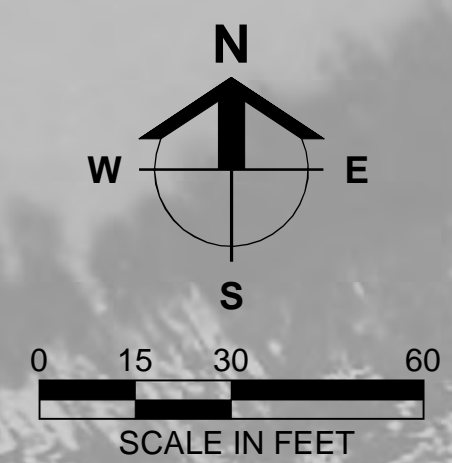
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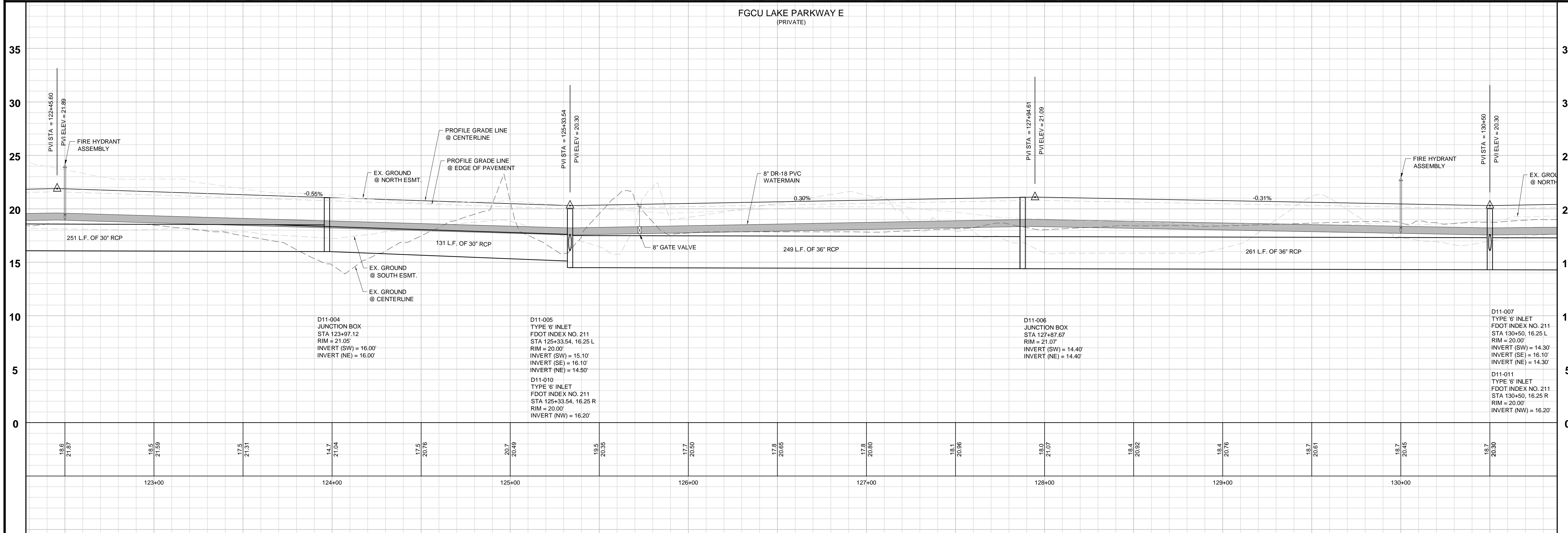
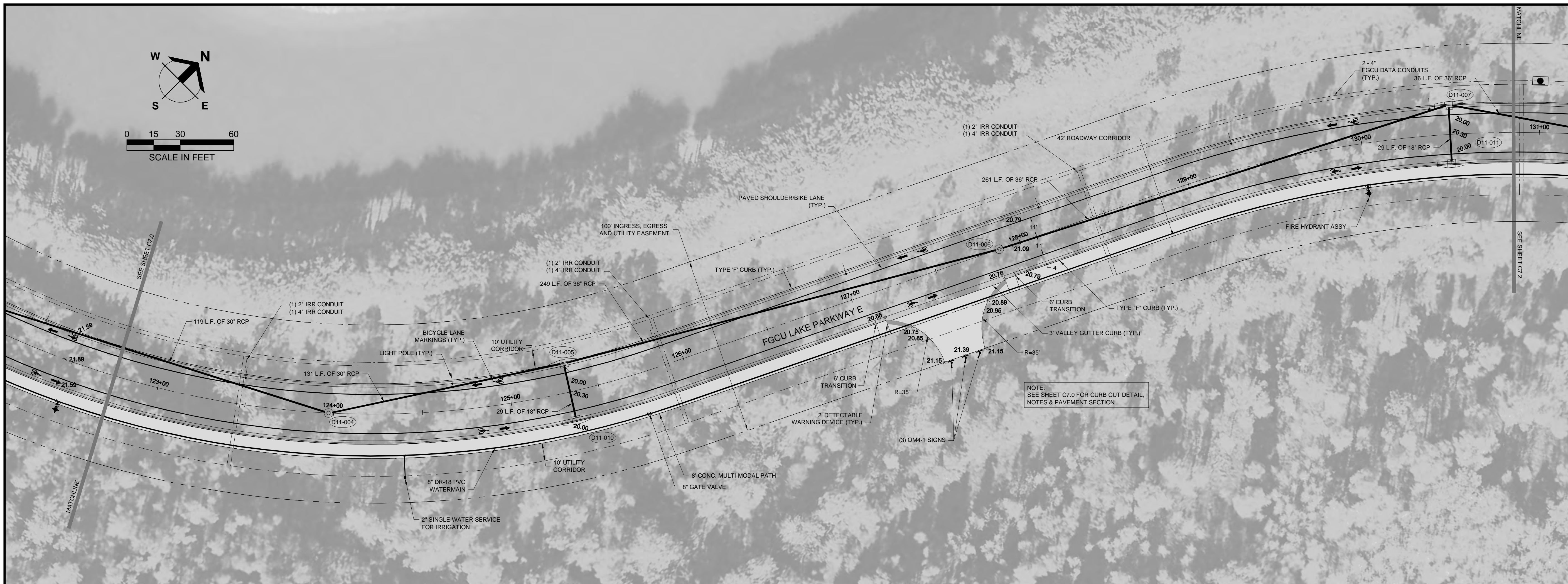
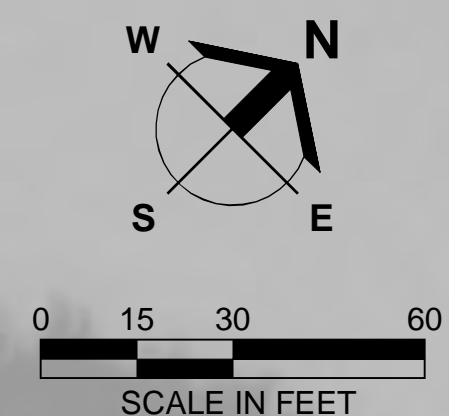
PLAN STATUS

APPROVAL SUBMITTAL PLANS
09/06/2016

MASTER SITE, DRAINAGE, AND UTILITY PLAN

PROJECT / FILE NO.	SHEET NUMBER
23371	C4.0





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ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

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FORT MYERS, FLORIDA 33907

PHONE (239) 590-9066
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PROJECT DESCRIPTION

**FGCU
CONNECTOR
ROAD**

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD
WESLEY S. KAYNE, P.E., FOR THE FIRM
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CROSS REFERENCED DRAWINGS

PLAN REVISIONS

PLAN STATUS
APPROVAL SUBMITTAL PLANS
09/06/2016

**FGCU LAKE PKWY E
PLAN AND PROFILE
STA 122+75 TO 130+87**

PROJECT / FILE NO. **23371** SHEET NUMBER **C5.1**

**ALICO WEST
FUND, L.L.C.**

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SUITE 275
FORT MYERS, FLORIDA 33907

PHONE (239) 590-9066
FAX (239) 590-9065

PROJECT DESCRIPTION

**FGCU
CONNECTOR
ROAD**

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD

WESLEY S. KAYNE, P.E., FOR THE FIRM
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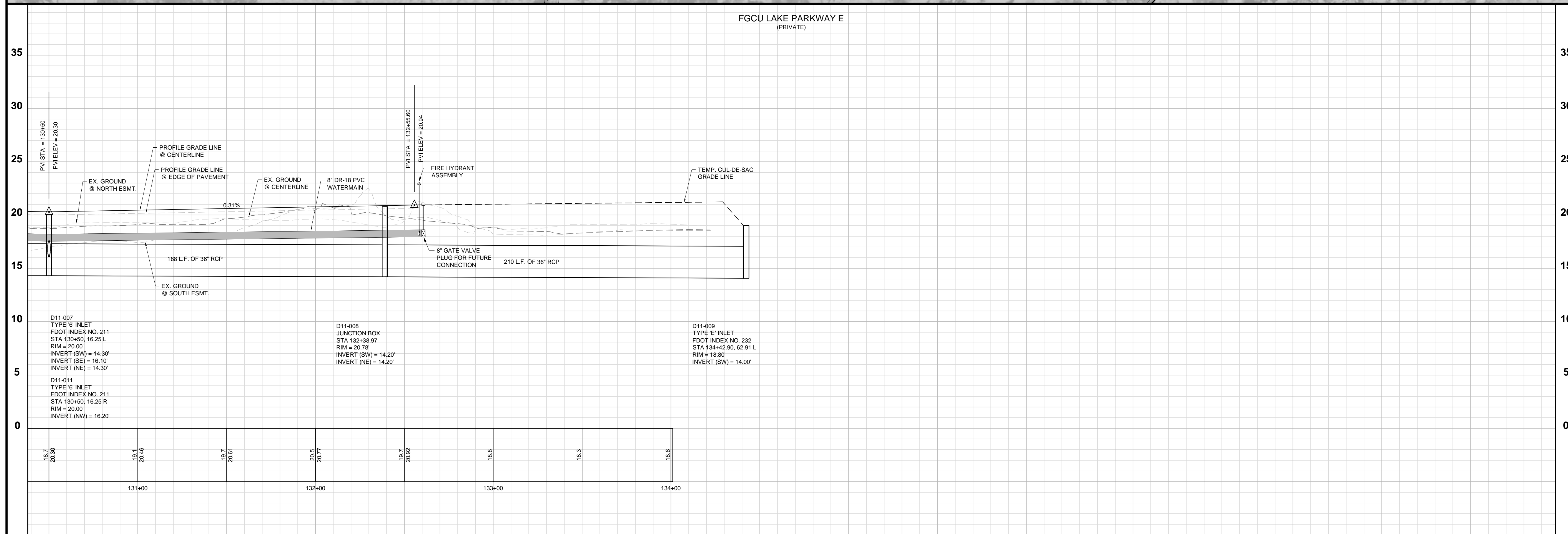
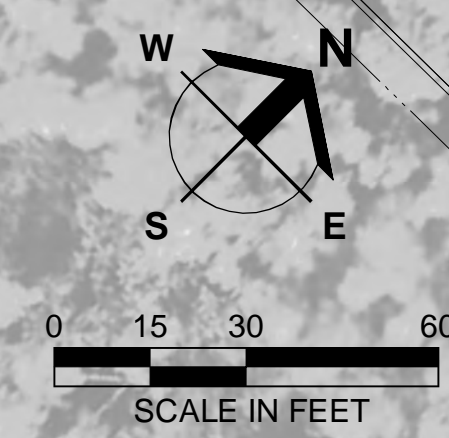
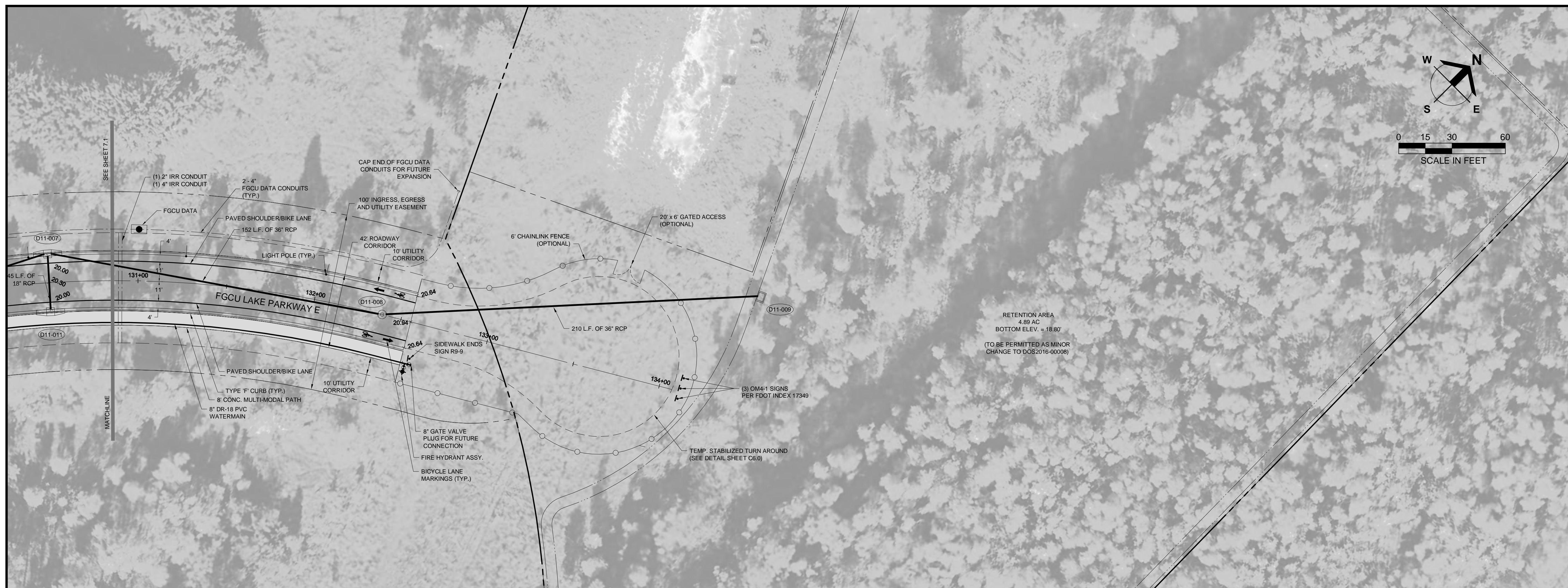
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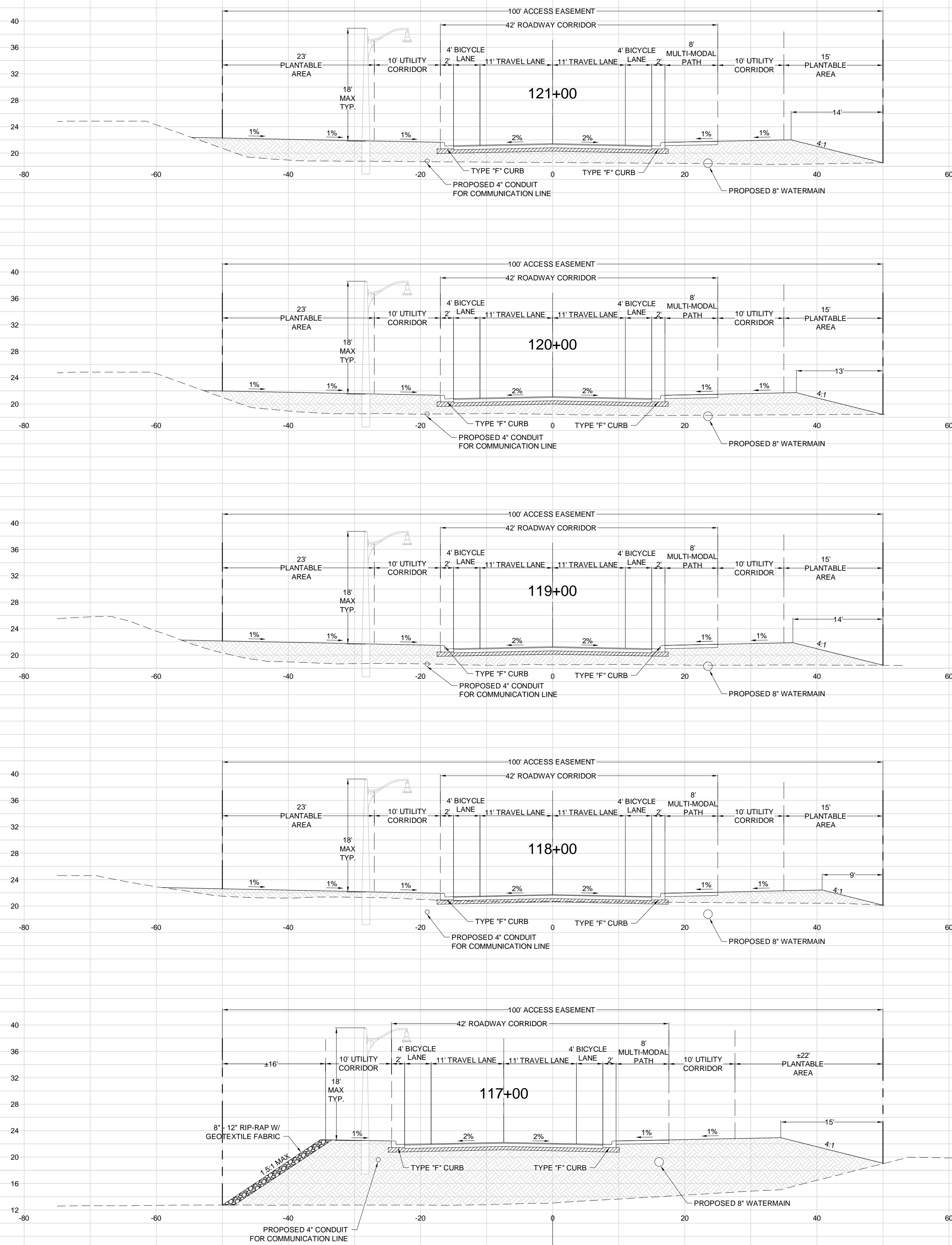
09/06/2016

**FGCU LAKE PKWY E
PLAN AND PROFILE
STA 130+87 TO 134+00**

PROJECT / FILE NO. SHEET NUMBER

23371 C5.2





PREPARED FOR

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FUND, L.L.C.**

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SUITE 275
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PROJECT DESCRIPTION

**FGCU
CONNECTOR
ROAD**

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD

WESLEY S. KAYNE, P.E., FOR THE FIRM
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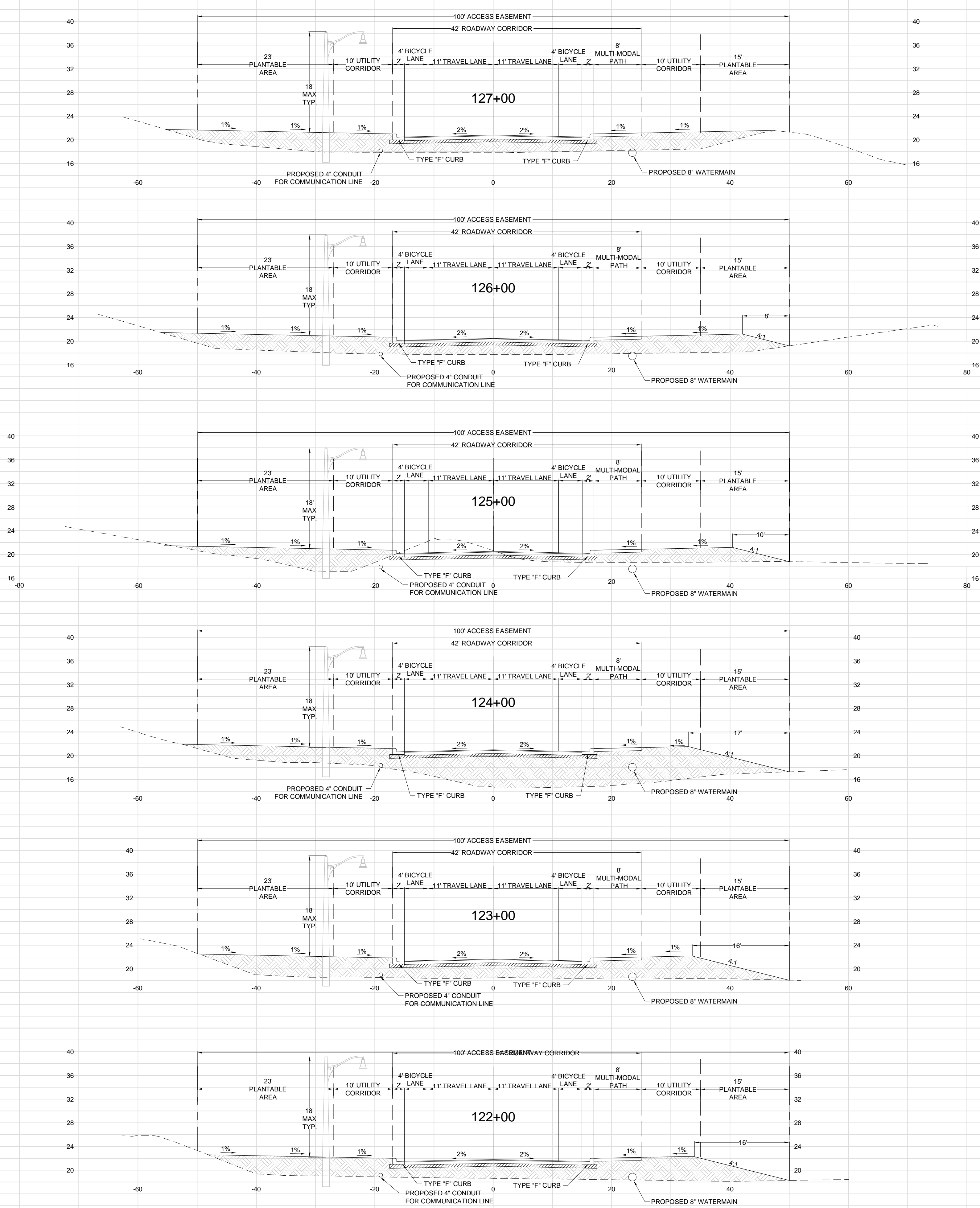
PLAN REVISIONS

PLAN STATUS

APPROVAL SUBMITTAL PLANS
09/06/2016

**ROADWAY SECTIONS
STA 117+00 TO 121+00**

PROJECT / FILE NO.	SHEET NUMBER
23371	C6.0



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PROJECT DESCRIPTION

FGCU CONNECTOR ROAD

PART OF SECTION 13
 TOWNSHIP 46 SOUTH, RANGE 25 EAST
 LEE COUNTY, FLORIDA

ENGINEER OF RECORD

WESLEY S. KAYNE, P.E., FOR THE FIRM
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PLAN STATUS

APPROVAL SUBMITTAL PLANS
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ROADWAY SECTIONS STA 122+00 TO 127+00

PROJECT / FILE NO.	SHEET NUMBER
23371	C6.1

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PHONE (239) 590-9066
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PROJECT DESCRIPTION

**FGCU
CONNECTOR
ROAD**

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD

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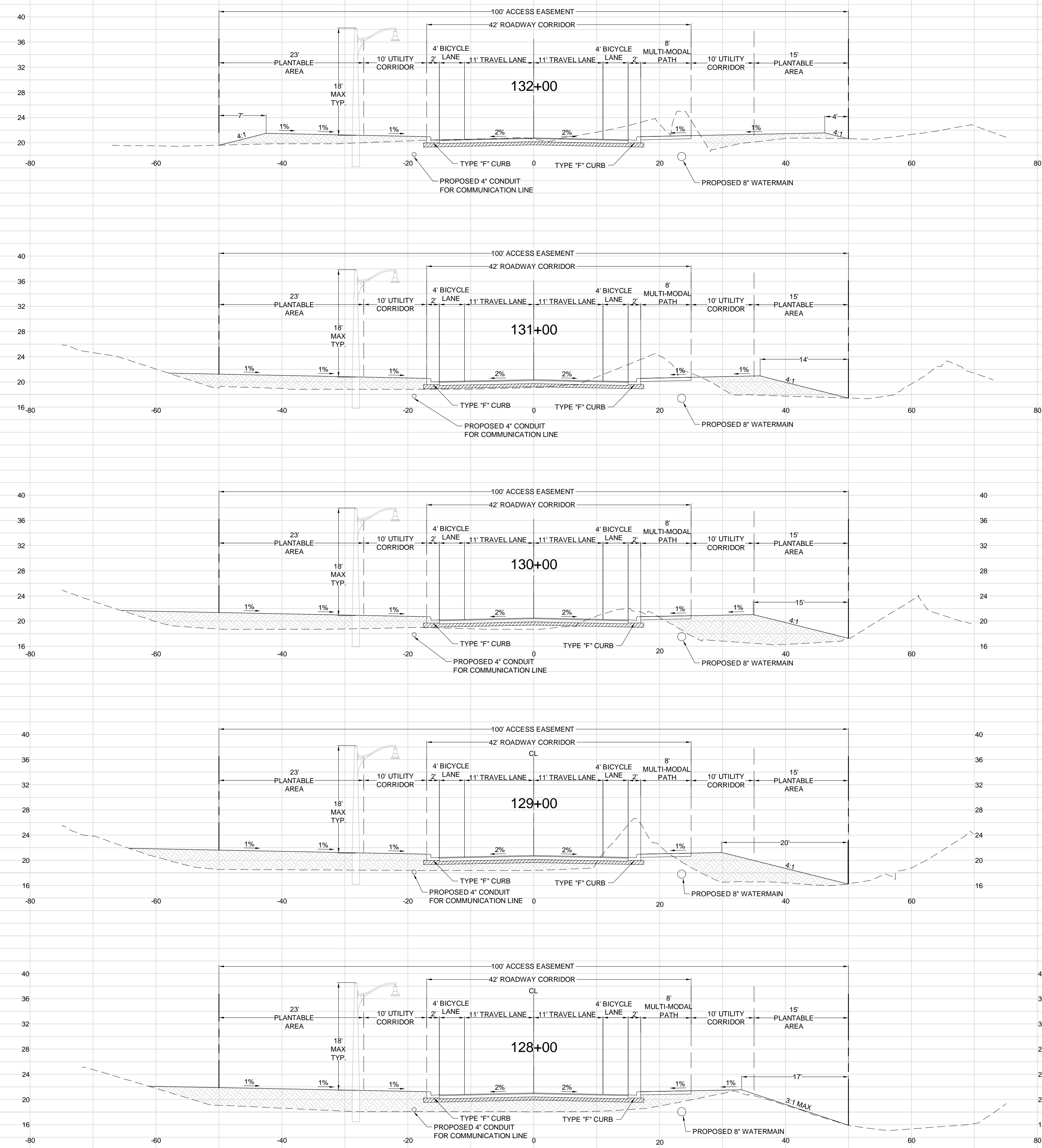
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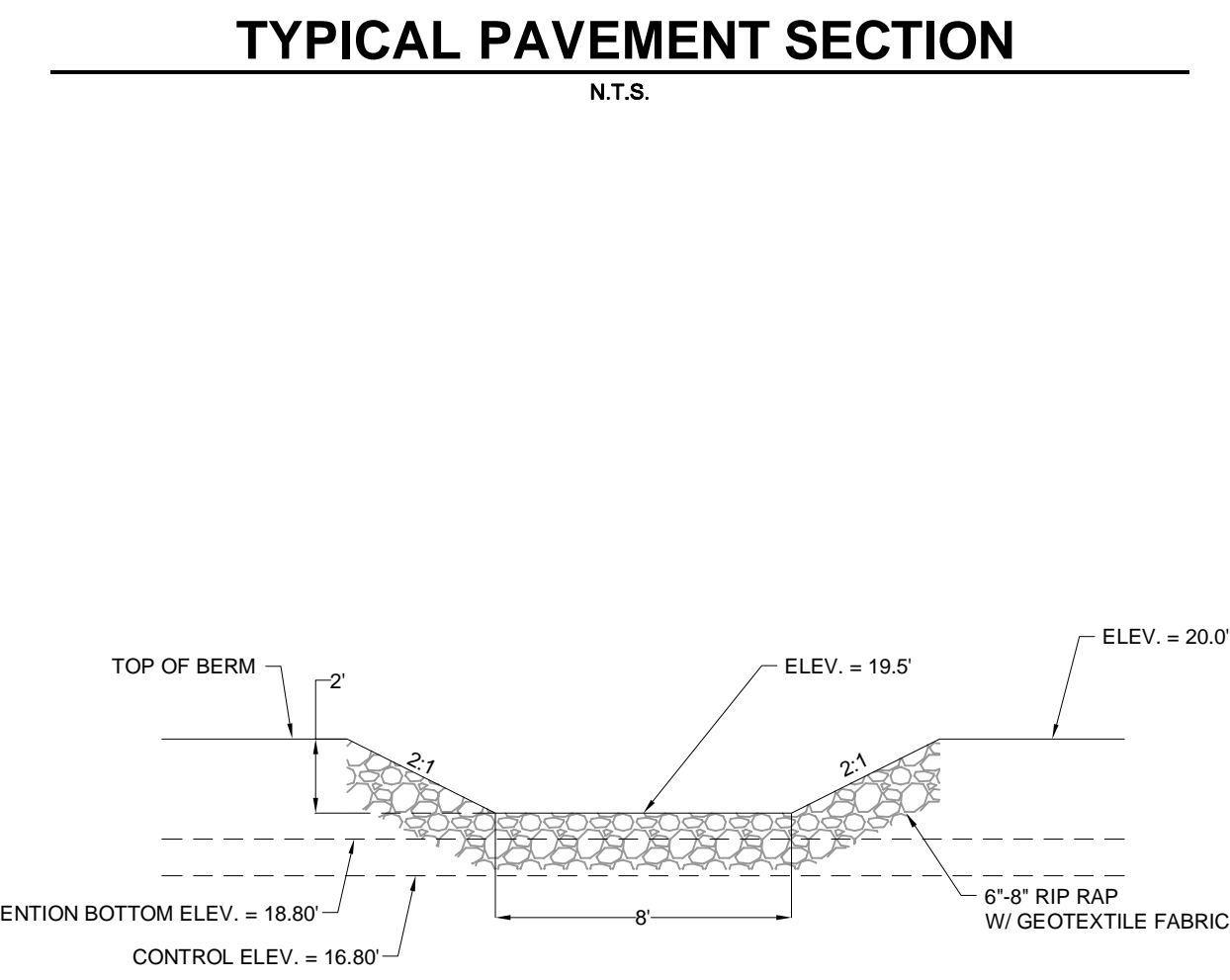
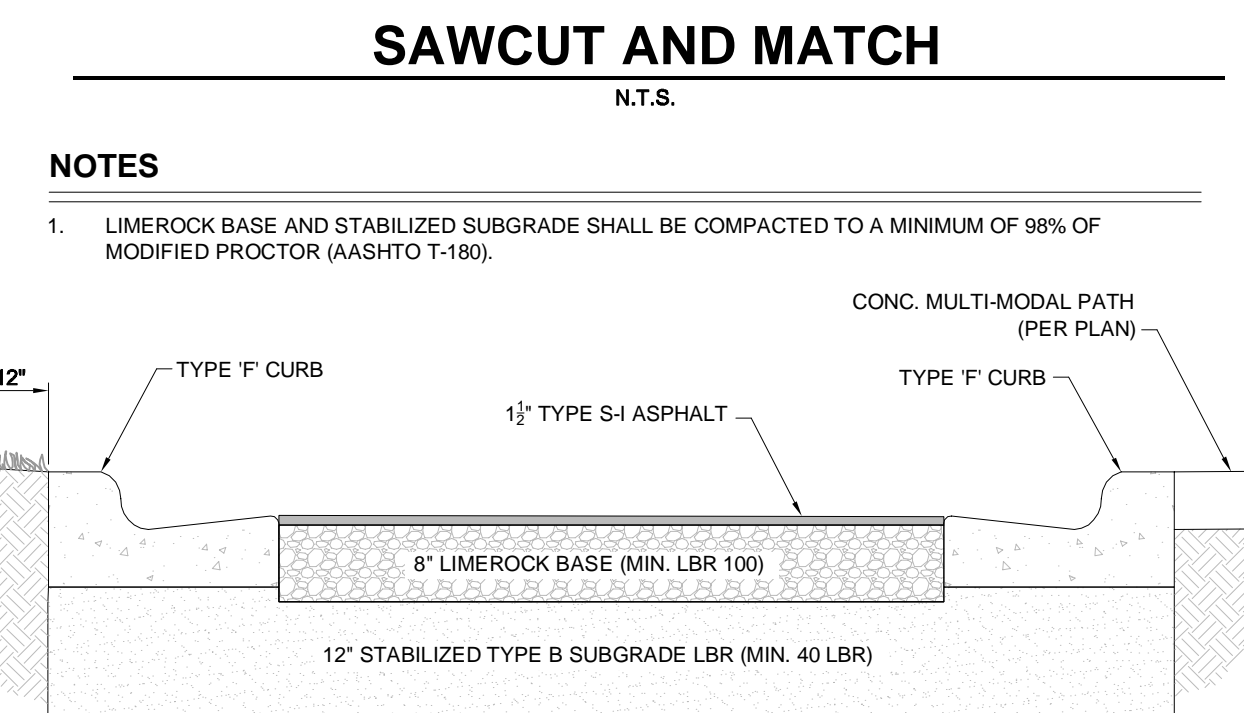
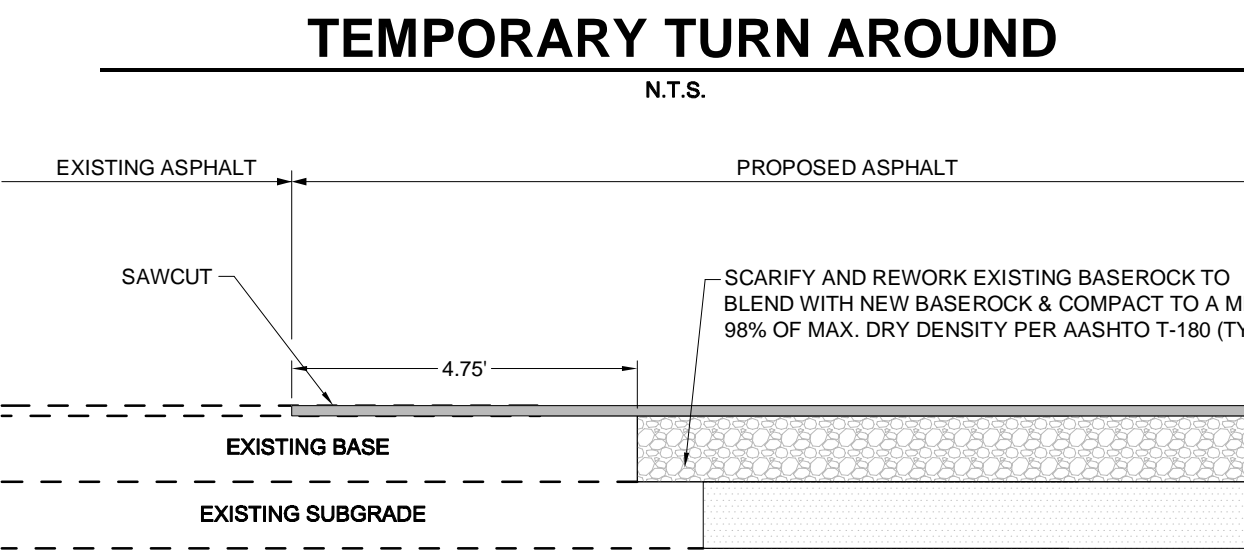
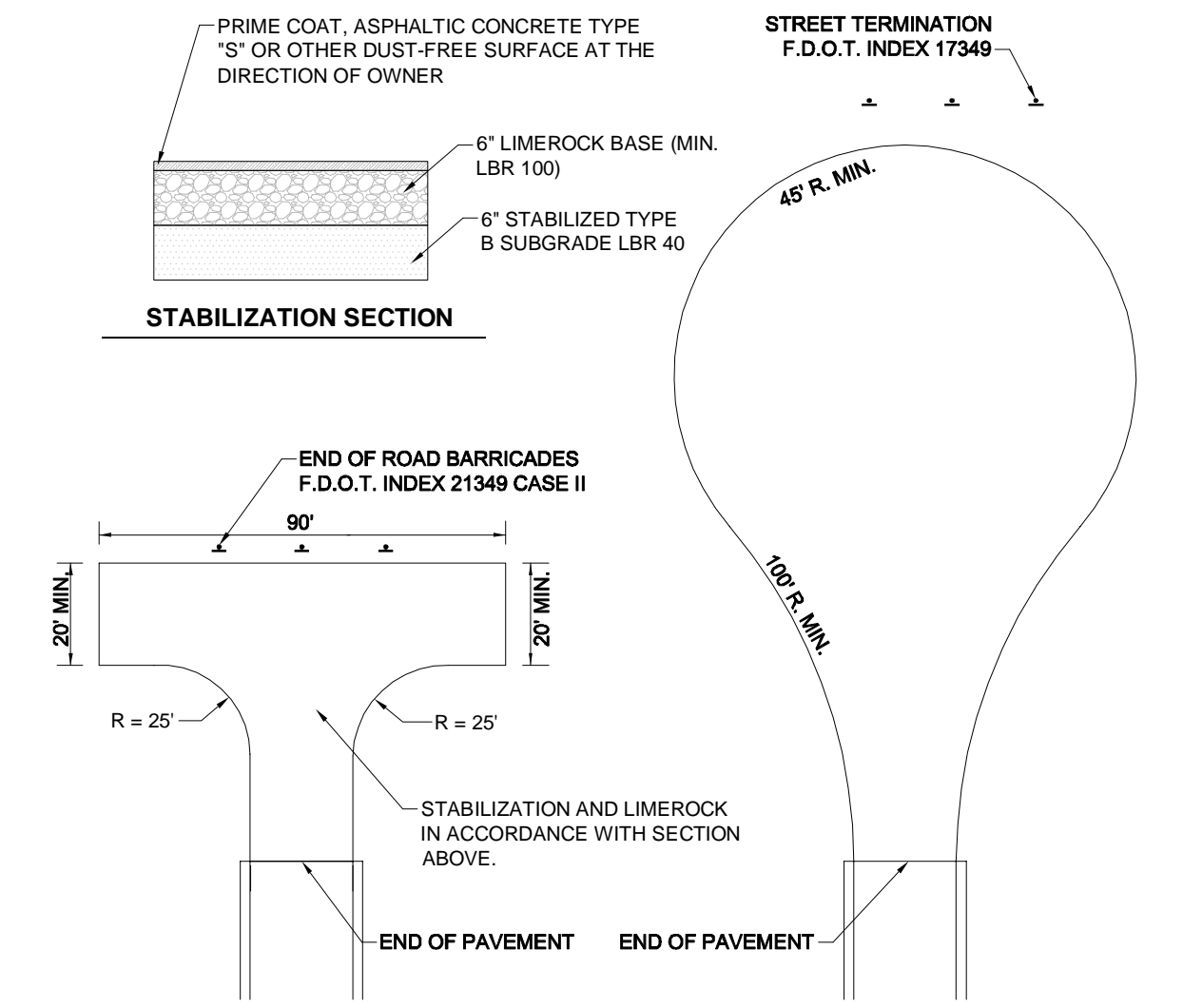
PLAN STATUS

APPROVAL SUBMITTAL PLANS
09/06/2016

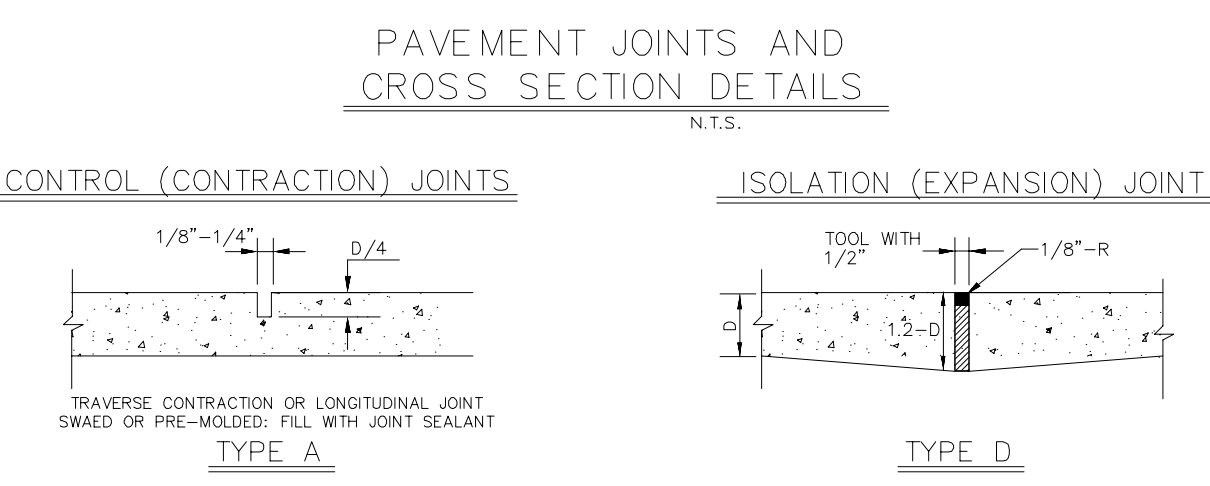
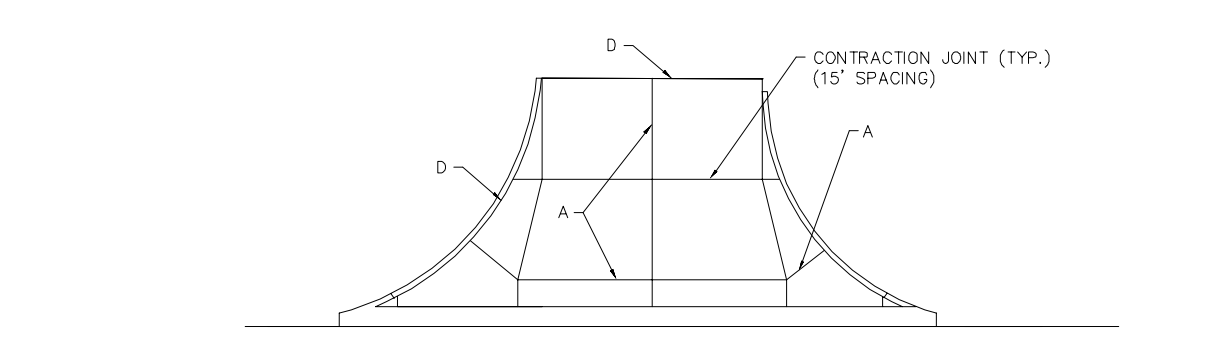
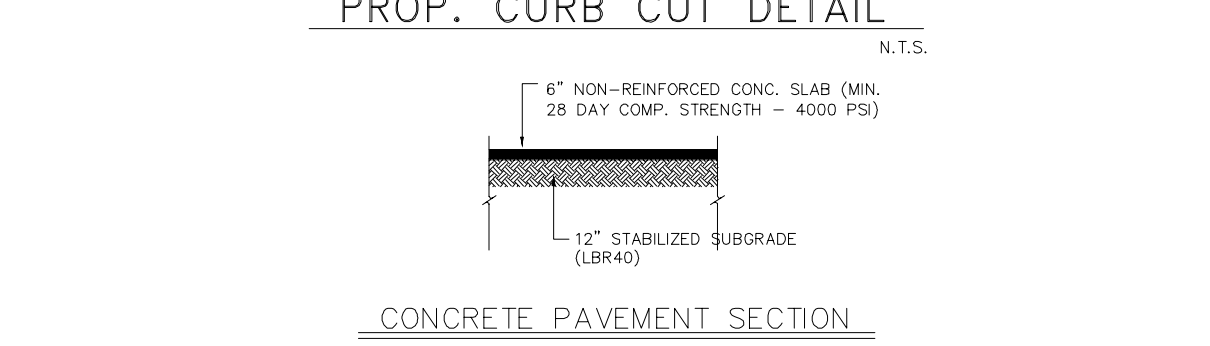
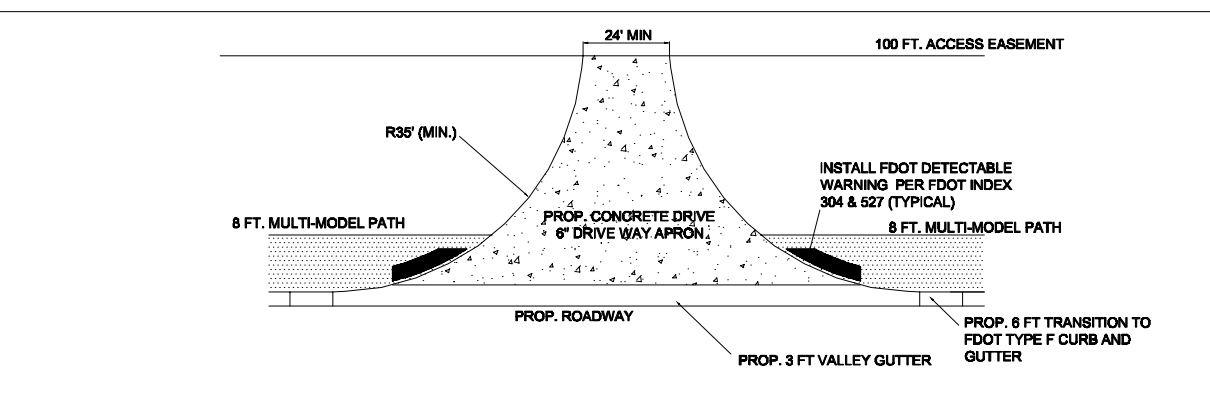
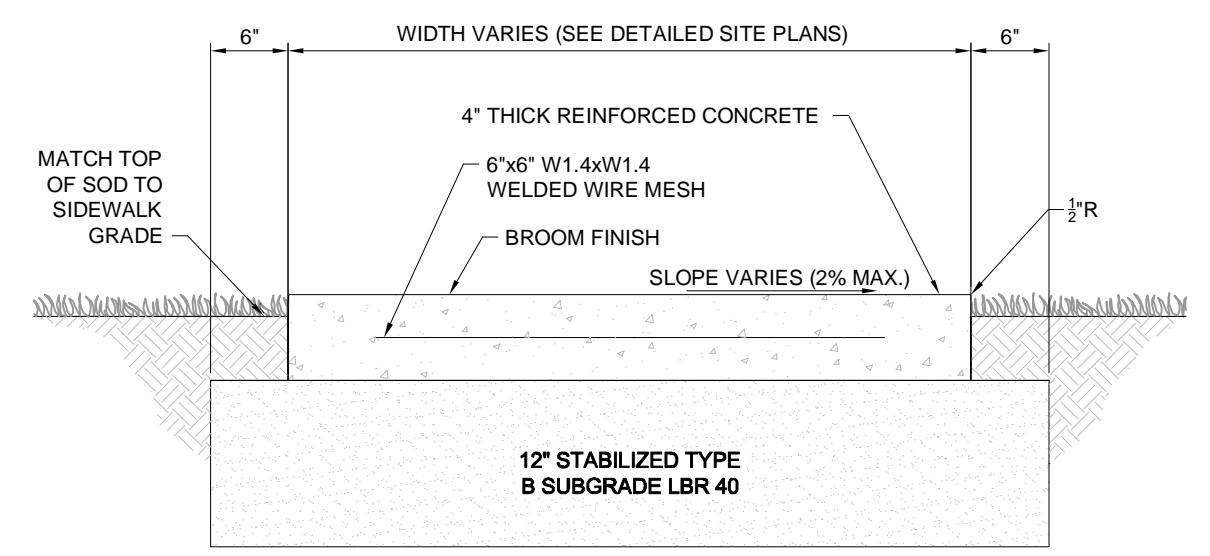
**ROADWAY SECTIONS
STA 128+00 TO 132+00**

PROJECT / FILE NO.	SHEET NUMBER
23371	C6.2





- NOTES**
- PAVER BRICKS MAY BE UTILIZED IN PLACE OF CONCRETE SIDEWALK. SEE LANDSCAPE PLANS FOR PAVER BRICK LOCATIONS, THICKNESS, SIZE, COLOR, PATTERN, AND SPECIFICATIONS. PAVER BRICK SEALANT OR REPELLANT MAY BE USED AT THE OWNER'S DISCRETION.
 - CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI. AT 28 DAYS.
 - SIDEWALK SHALL HAVE CONTRACTION JOINTS AT 5' INTERVALS AND AN EXPANSION JOINT EVERY 100'.
 - MAXIMUM LONGITUDINAL SLOPE FOR DISABLED ACCESSIBLE SIDEWALK SHALL BE 1:20.
 - TOP OF SOD TO BE FLUSH WITH SIDEWALK TO PROVIDE POSITIVE SLOPE TO PREVENT PONDING.
 - FIBER REINFORCEMENT MAY BE SUBSTITUTED FOR WIRE MESH REINFORCEMENT AT THE DISCRETION OF THE OWNER.
 - COST OF STABILIZED SUBGRADE FOR SIDEWALK TO BE INCLUDED IN UNIT COST FOR SIDEWALK.



HOLE MONTES
ENGINEERS-PLANNERS-SURVEYORS

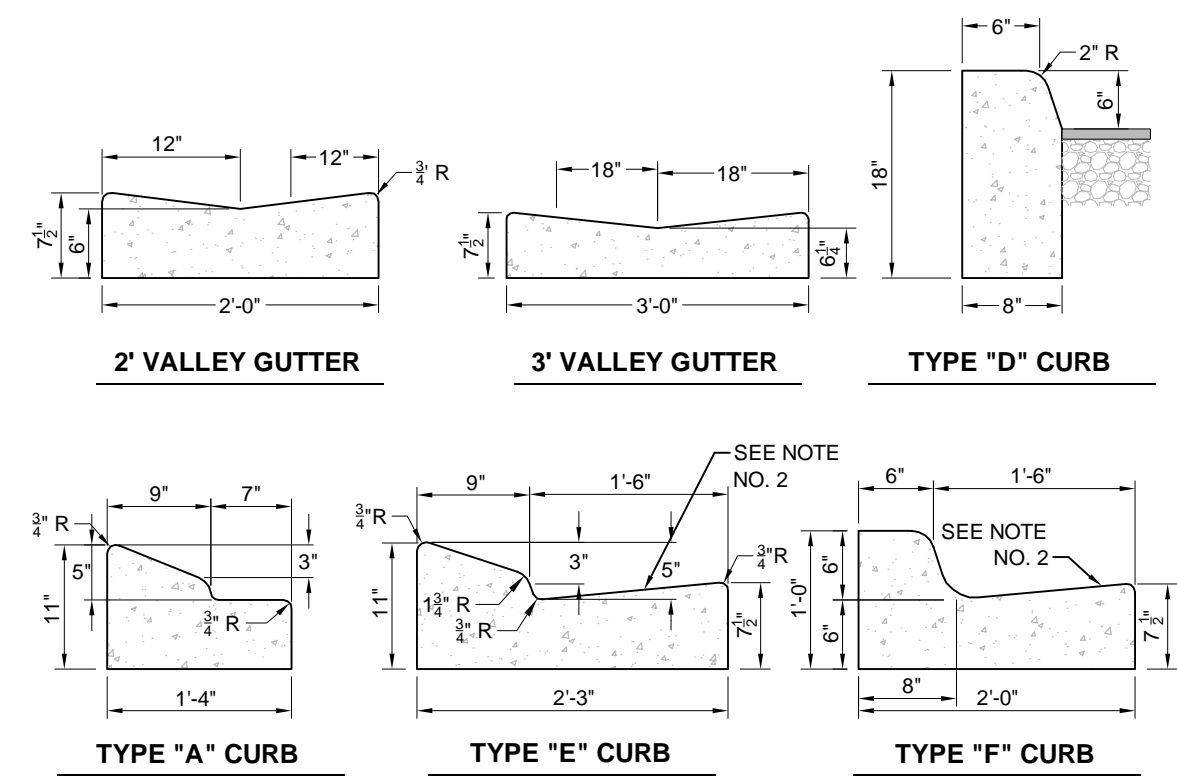
6200 Whiskey Creek Drive
Fort Myers, FL 33919
Phone: (239) 955-1000
Professional Registration No. 1772
Naples - Fort Myers

PROPOSED MIROMAR LAKES CURB CUT DETAIL AND NOTES

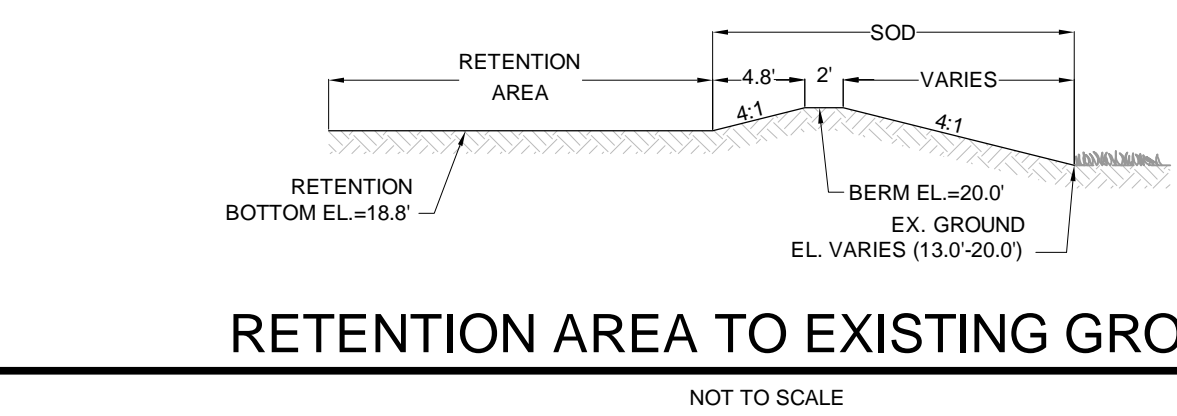
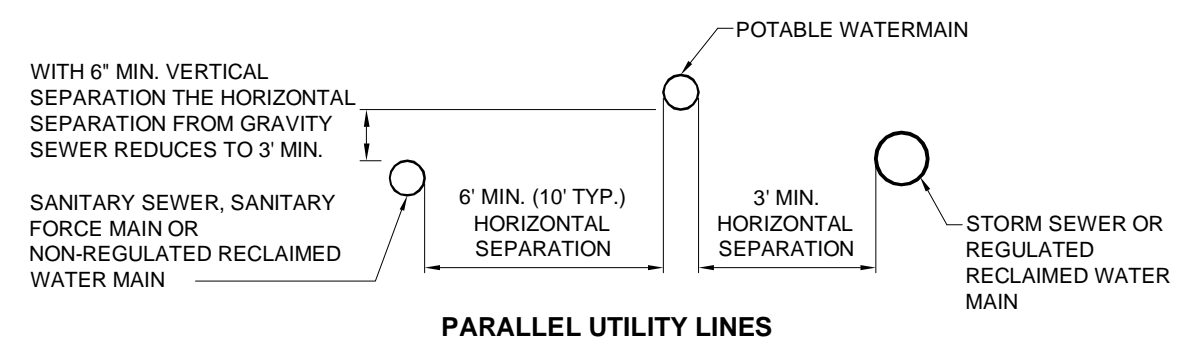
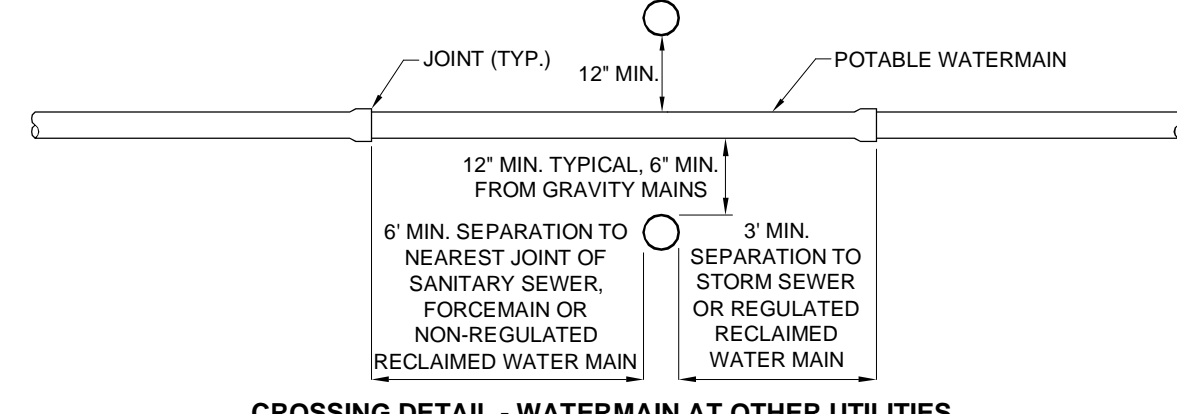
DATE: 08/30/2016 JOB No. 2015.024 SHEET No. 1 OF 1

NOTE:
MIROMAR LAKES CURB CUT DETAIL AND NOTES PROVIDED BY HOLE MONTES HAS BEEN REVIEWED BY ENGINEER OF RECORD AND DETERMINED SUITABLE FOR USE AT STATION 127+50 DRIVEWAY.

- SEE F.D.O.T. DESIGN STANDARDS INDEX 300 FOR ADDITIONAL DETAILS.
- WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI. WITHIN 28 DAYS UNLESS NOTED OTHERWISE.



- NOTES**
- THE REFERENCED UTILITY SEPARATIONS ARE IN ACCORDANCE WITH F.D.E.P. CHAPTER 62-555. SEE UTILITY DETAILS, SPECIFICATIONS OR DETAILED CONSTRUCTION PLANS FOR ADDITIONAL SEPARATION REQUIREMENTS OF THE LOCAL UTILITY PROVIDER.
 - WHERE POSSIBLE THE POTABLE WATERMAIN SHALL CROSS ABOVE ANY SANITARY SEWER, STORM SEWER, FORCEMAIN OR RECLAIMED WATER LINES.
 - ALL DIMENSIONS ARE TO THE OUTSIDE OF THE PIPE.



1

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PROJECT DESCRIPTION

FGCU CONNECTOR ROAD

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD
WESLEY S. KAYNE, P.E., FOR THE FIRM
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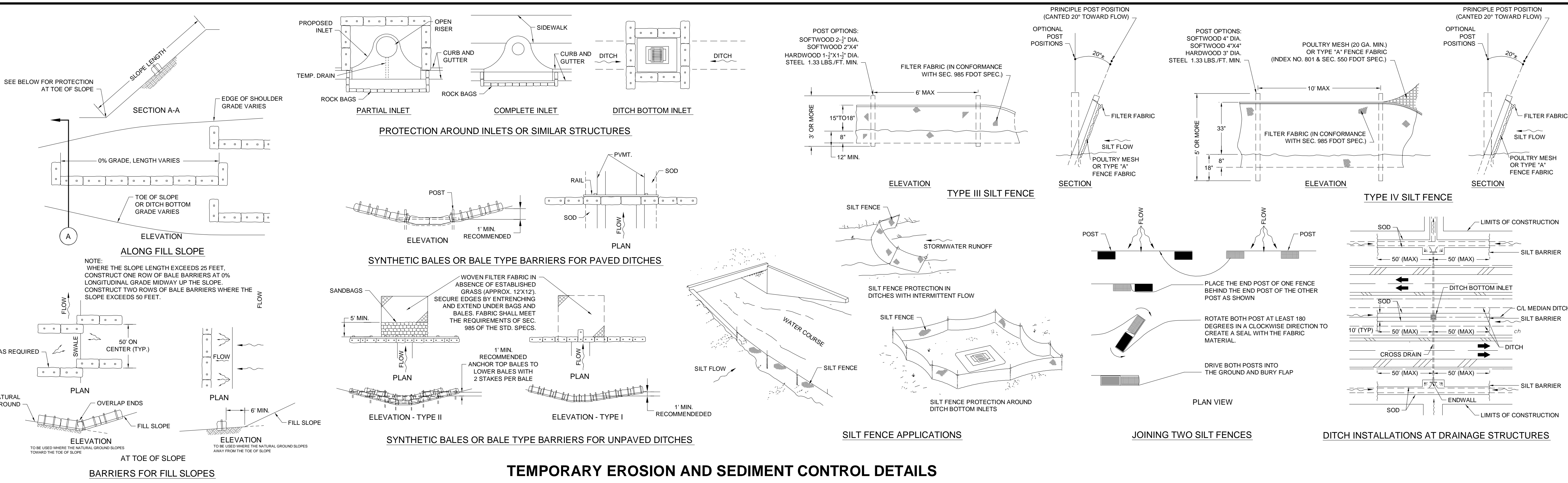
PLAN REVISIONS

PLAN STATUS

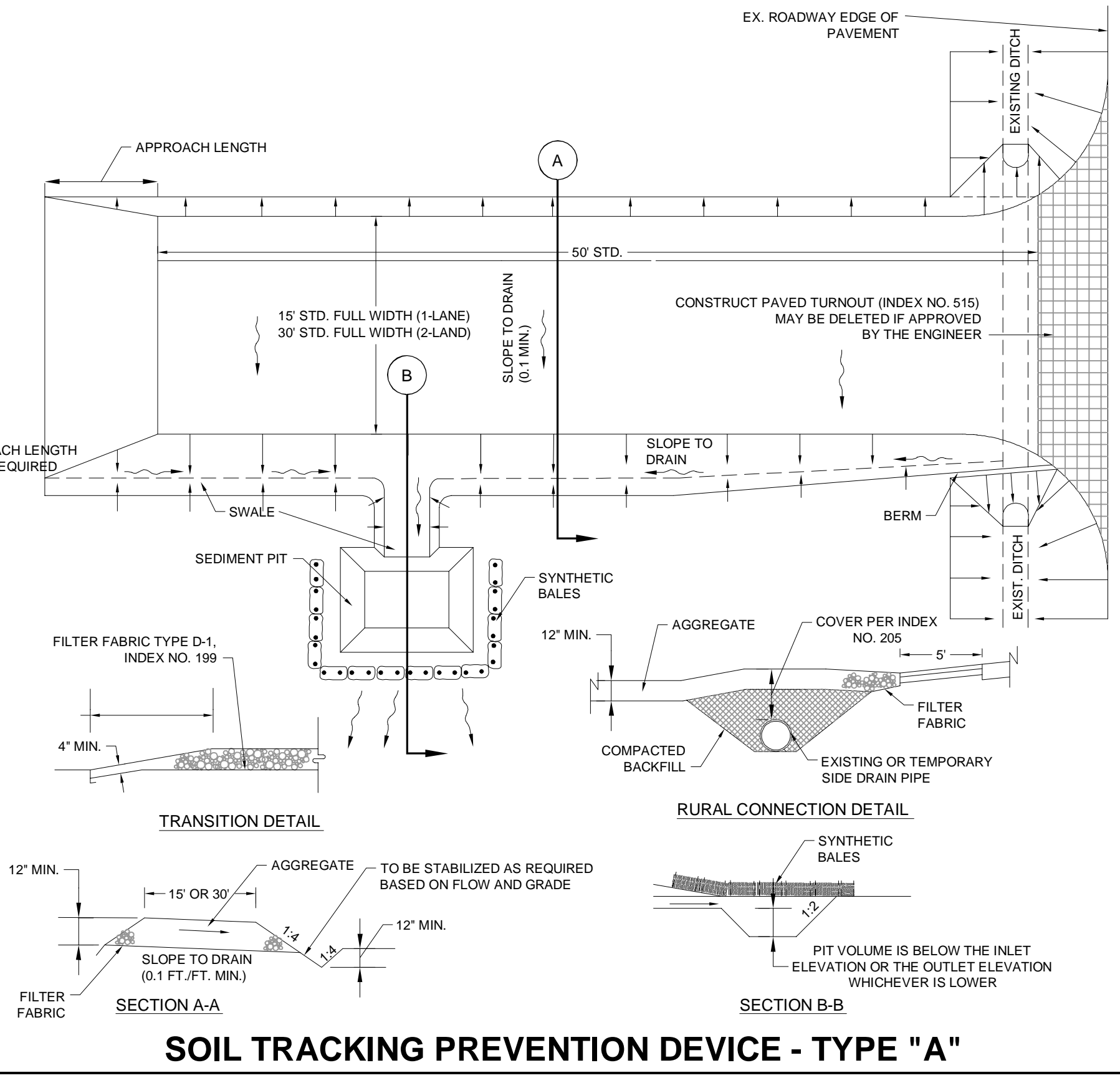
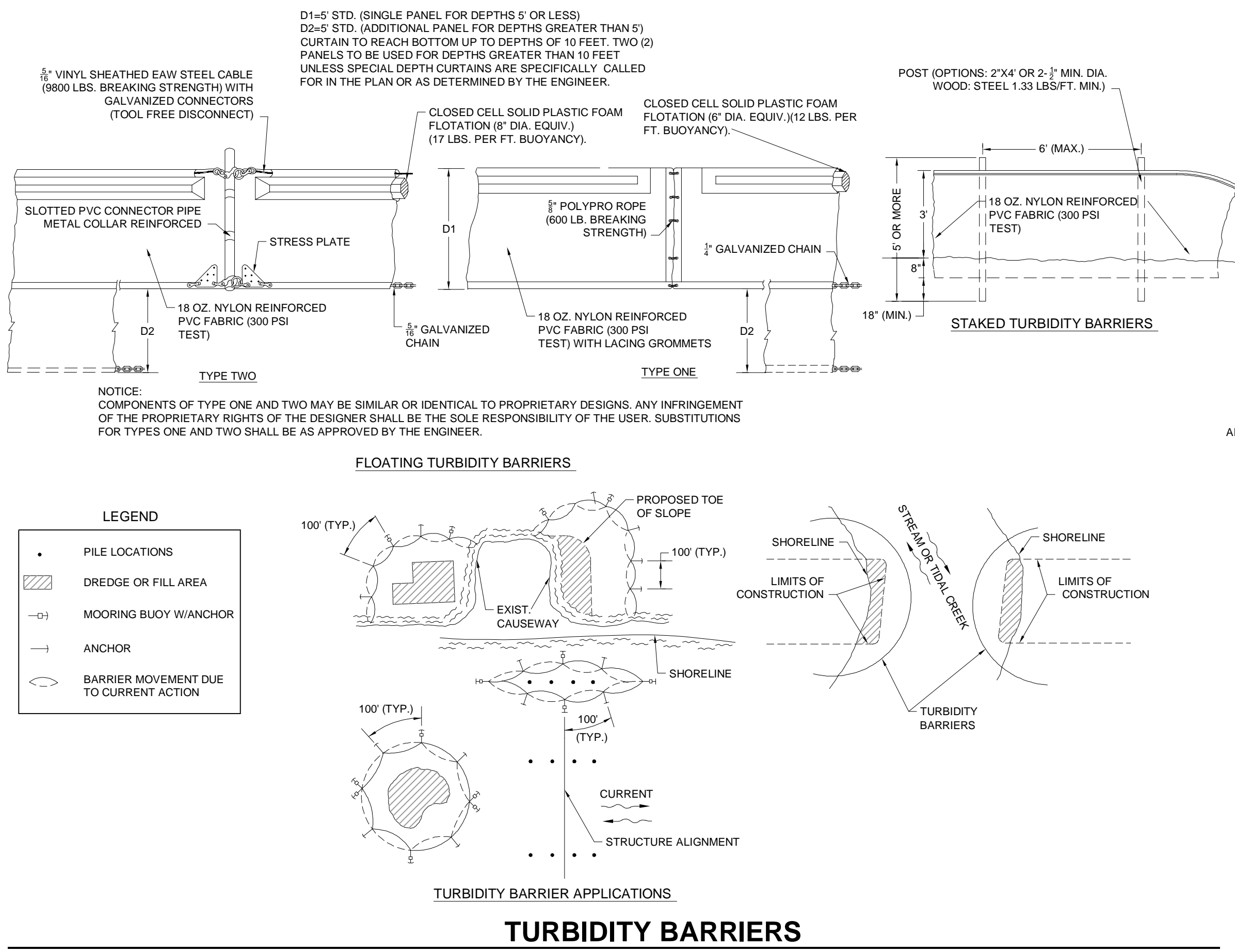
APPROVAL SUBMITTAL PLANS
09/06/2016

TYPICAL SECTIONS, PAVING, AND DRAINAGE DETAILS

PROJECT / FILE NO.	SHEET NUMBER
23371	C7.0



NOTE: NOT ALL NOTES, DETAILS, SYMBOLS OR OTHER STANDARDS SHOWN ON THIS SHEET MAY BE APPLICABLE TO THIS PROJECT



EROSION CONTROL NOTES:

- PRIOR TO COMMENCEMENT OF CONSTRUCTION APPROPRIATE EROSION CONTROL DEVICES SHALL BE INSTALLED TO CONTROL AND REDUCE SOIL EROSION AND SEDIMENT TRANSPORT TO OFF-SITE AREAS. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEVICES SHALL REMAIN IN PLACE UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
- THE CONTRACTOR SHALL SUPPLEMENT THIS PLAN AS REQUIRED TO CONTROL AND REDUCE SOIL EROSION BASED ON THE CONTRACTOR'S MEANS, METHODS AND TECHNIQUE OF CONSTRUCTION. IT IS RECOMMENDED THAT THE CONTRACTOR COMPLY WITH THE LATEST EDITIONS OF THE F.D.O.T. STANDARD SPECIFICATIONS SECTION 104 (PREVENTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION) AND THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL (THE "ESSC MANUAL").
- THE DETAILS ON THIS SHEET REPRESENT TYPICAL BEST MANAGEMENT PRACTICES FOR SOIL EROSION CONTROL. THEY MAY NOT SATISFY ALL REQUIREMENTS FOR COMPLIANCE WITH REGULATORY AGENCIES AND / OR SPECIFIC PERMIT CONDITIONS AND ALL MAY NOT APPLY TO THIS PROJECT.
- THE CONTRACTOR AND/OR OWNER SHALL VERIFY THAT THE RESPONSIBLE ENTITY HAS OBTAINED A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) GENERAL PERMIT FROM THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (E.P.A.) / F.D.E.P. AND LOCAL REGULATORY AGENCY AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CREATE, IMPLEMENT AND MAINTAIN A STORMWATER POLLUTION PREVENTION PLAN AS REQUIRED BY THE N.P.D.E.S. GENERAL PERMIT.
- AREAS LOCATED ADJACENT TO WETLAND / UPLAND PRESERVE AREAS SHALL BE STABILIZED WITH SOD (OR AS CALLED FOR ON DETAILED PLANS) IMMEDIATELY UPON ACHIEVING FINAL GRADE.
- EROSION CONTROL DEVICES WILL BE INSTALLED ALONG THE BOUNDARY OF THE CONSERVATION AREAS, PRESERVE AND/OR WETLAND AREAS PRIOR TO CONSTRUCTION. THESE DEVICES SHALL BE SILT SCREENS AND, IF NECESSARY, STAKED HAY BALES OR SYNTHETIC BALES. THESE DEVICES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND THE ADJACENT CONSTRUCTION ZONES ARE ESTABLISHED.
- CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL METHODS UPON COMPLETION OF SOIL STABILIZATION FOR THE PROJECT. AT THAT TIME THE RESPONSIBLE ENTITY SHALL FILE AN N.P.D.E.S. STORMWATER POLLUTION PREVENTION PLAN NOTICE OF TERMINATION WITH THE F.D.E.P.
- DURING CONSTRUCTION, INLET OPENINGS, WHERE APPROPRIATE, SHALL BE COVERED WITH FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL) TO PREVENT DEBRIS FROM FALLING INTO THE INLET.
- CONTRACTOR SHALL UTILIZE APPROPRIATE METHODS TO CONTROL WIND EROSION AND DUST. ALL AREAS SHALL BE STABILIZED AS NECESSARY TO CONTROL EROSION WITHIN 21 DAYS OF FINAL GRADING.
- FOR ADDITIONAL EROSION CONTROL DETAILS NOT SHOWN ON THIS PLAN, SEE F.D.O.T. ROADWAY STANDARDS INDEX DRAWINGS.

CONTRACTOR RESPONSIBILITIES:

- PREPARE AND SIGN A NOTICE OF INTENT FORM (N.O.I.) AND SUBMIT TO THE REGULATORY AGENCY ALONG WITH ANY REQUIRED FEES AND ATTACHMENTS, OR ASSURE THAT AN N.O.I. HAS BEEN FILED AS REQUIRED.
- IMPLEMENT THE STABILIZATION, EROSION CONTROL AND OTHER REQUIREMENTS OF THE S.W.P.P.P. / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN.
- PROVIDE QUALIFIED INSPECTORS, AND DOCUMENTATION OF QUALIFICATIONS, FOR THE CONTROLS IMPLEMENTED AT THE JOB SITE.
- CONDUCT ALL NECESSARY INSPECTIONS AT THE REQUIRED INTERVALS AND PREPARE AND RETAIN WRITTEN DOCUMENTATION OF THOSE INSPECTIONS AND ALL OTHER WRITTEN DOCUMENTATION REQUIRED BY THE GENERAL PERMIT.
- KEEP A COPY OF THE S.W.P.P.P. / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, ALL N.O.I.S., PERMIT CERTIFICATES, PERMIT LANGUAGE, SPILL PREVENTION, COUNTERMEASURES, AND CLEANUP ("S.P.C.C.") PLAN, INSPECTION RECORDS, AND OTHER REQUIRED RECORDS ON THE JOB SITE AND POST IN A PROMINENT PLACE NEAR THE JOB SITE ENTRANCE THOSE DOCUMENTS REQUIRED TO BE POSTED UNDER THE TERMS OF THE GENERAL PERMIT.
- CONTRACTOR SHALL PROVIDE MONTHLY TRAINING SESSIONS FOR ALL ENTITIES AND SUBCONTRACTORS INVOLVED WITH INSTALLING, APPLYING, PERFORMING, MAINTAINING AND INSPECTION OF THE S.W.P.P.P. / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN.
- UPDATE AND MAKE CHANGES TO THE S.W.P.P.P. / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN AND SUPPORTING DOCUMENTS (SUCH AS THE S.M.P.'S AND / OR S.P.C.C.) AS NEEDED AND WITH THE APPROVAL OF THE OPERATOR AND THE OPERATOR'S ENGINEER.
- PREPARE AND SIGN A NOTICE OF TERMINATION (N.O.T.) FORM WHEN SITE WORK CONSTRUCTION IS COMPLETED AND STABILIZATION IS ACHIEVED. TRANSFER THE S.W.P.P.P. / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN DOCUMENTS, ALONG WITH ALL N.O.I.S., PERMIT CERTIFICATES, N.O.T.S. AND WRITTEN RECORDS REQUIRED BY THE GENERAL PERMIT TO THE OPERATOR FOR ARCHIVING IN BOTH PAPER AND OPTICALLY-SCANNED FORMAT ON A CD.

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PREPARED FOR

ALICO WEST FUND, L.L.C.

12800 UNIVERSITY DRIVE
SUITE 275
FORT MYERS, FLORIDA 33907

PHONE (239) 590-9066
FAX (239) 590-9065

PROJECT DESCRIPTION

FGCU CONNECTOR ROAD

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD
WESLEY S. KAYNE, P.E. FOR THE FIRM
FLORIDA P.E. NO. 80567 - WSK@BARRACO.NET

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PLOT BY WES KAYNE

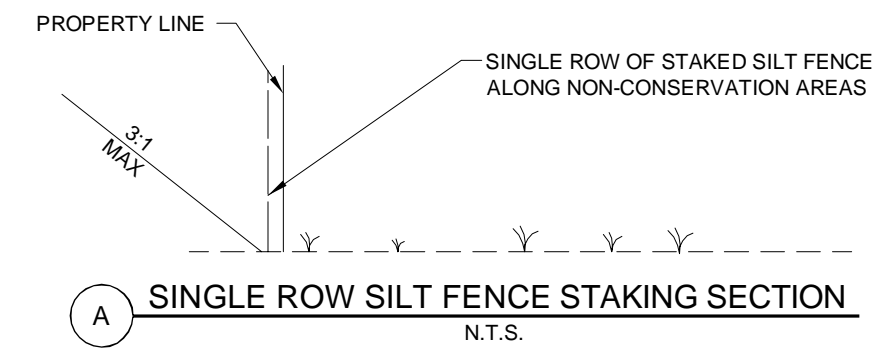
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PLAN REVISIONS

PLAN STATUS
APPROVAL SUBMITTAL PLANS
09/06/2016

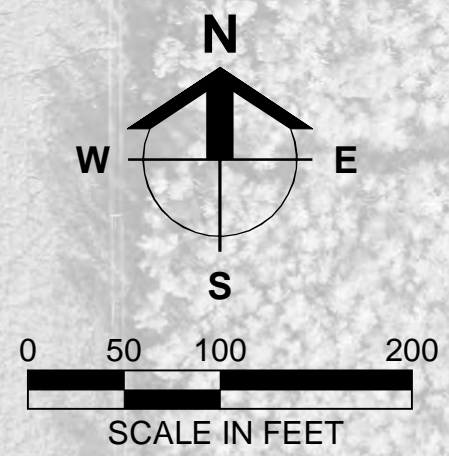
EROSION CONTROL DETAILS

PROJECT / FILE NO. **23371** SHEET NUMBER **C8.0**



LEGEND

- PROPOSED INLET PROTECTION
- SINGLE ROW SILT FENCE
- FLOATING TURBIDITY BARRIER



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PROJECT DESCRIPTION

**FGCU
CONNECTOR
ROAD**

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD

WESLEY S. KAYNE, P.E., FOR THE FIRM
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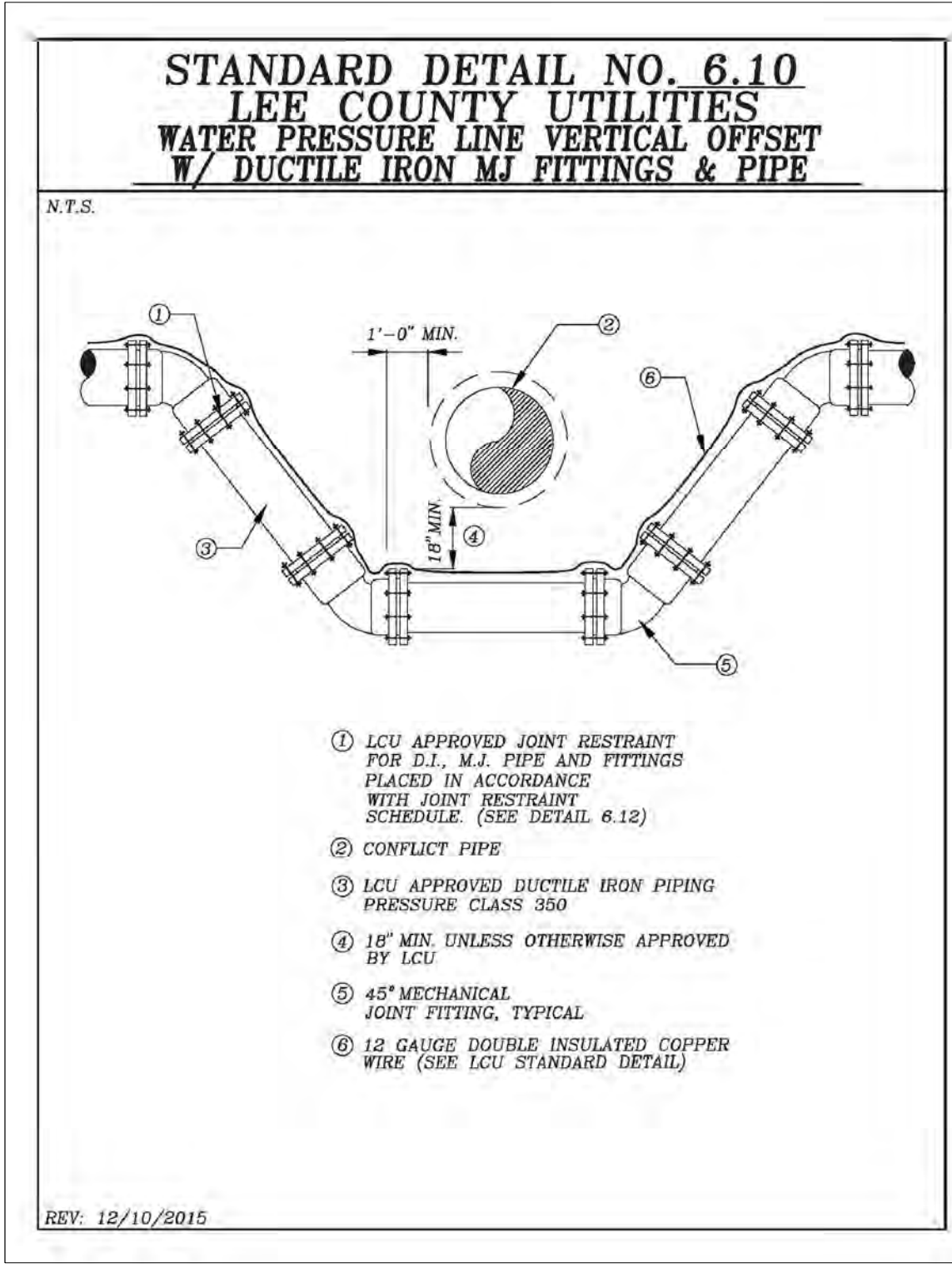
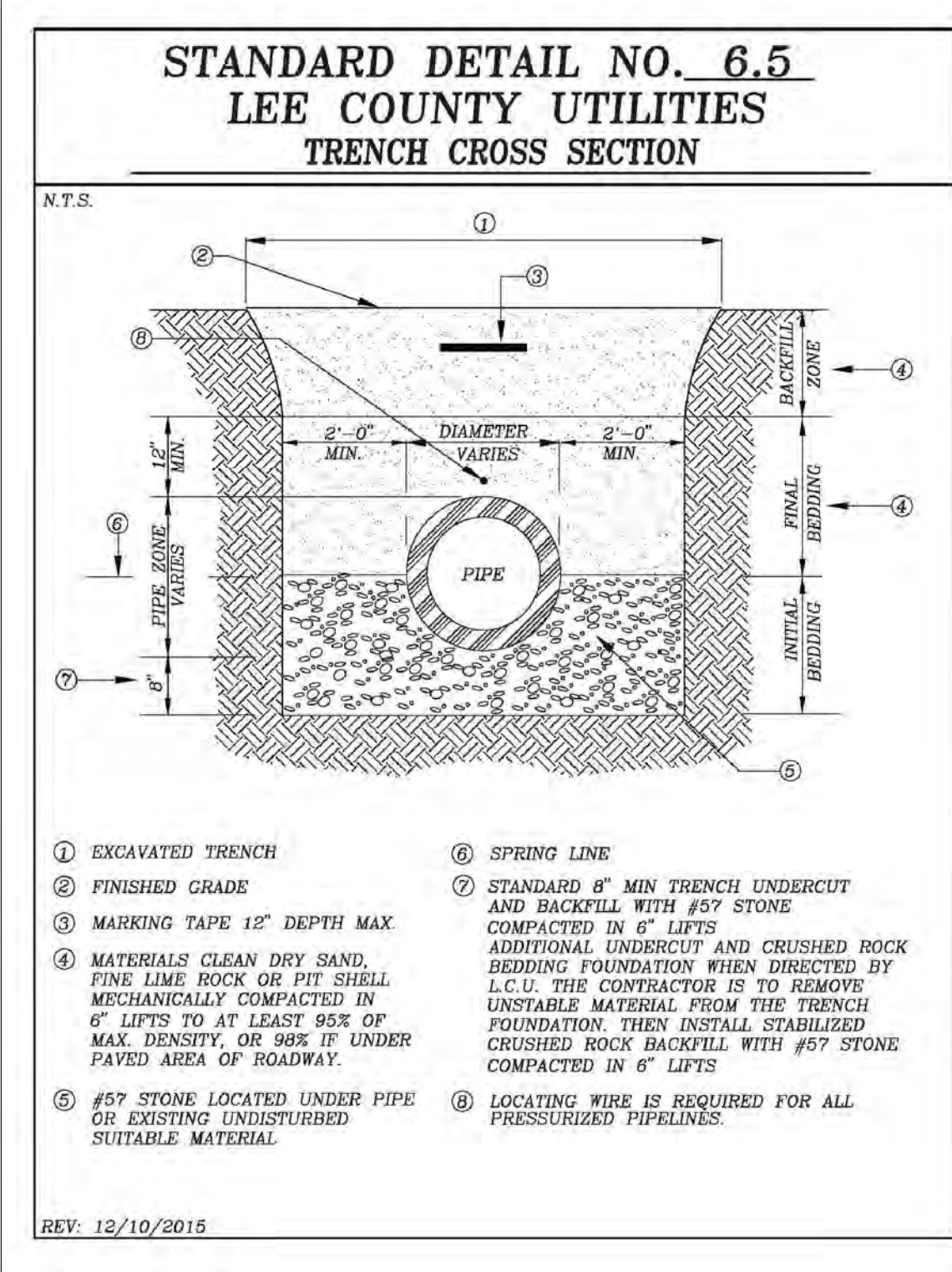
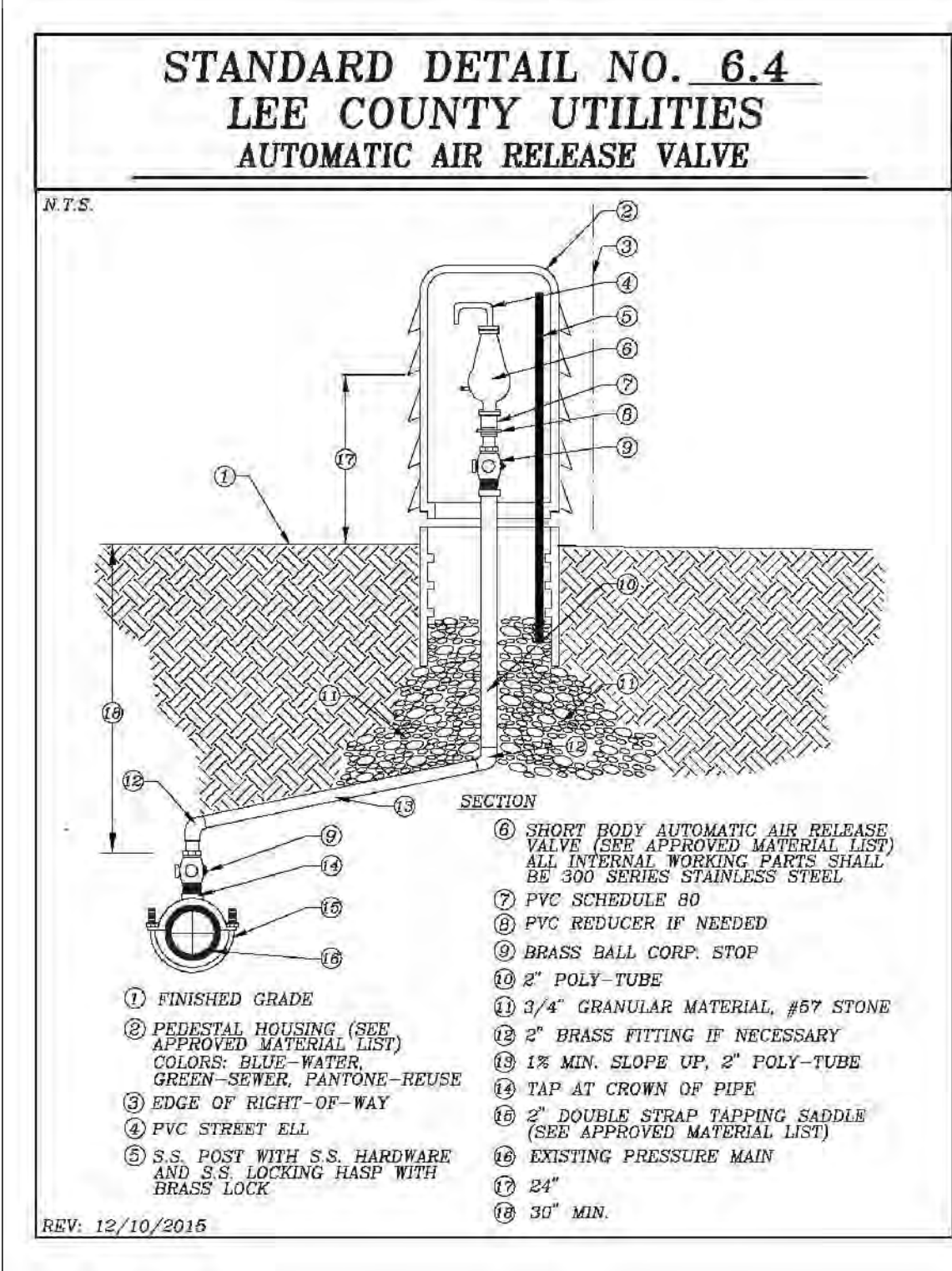
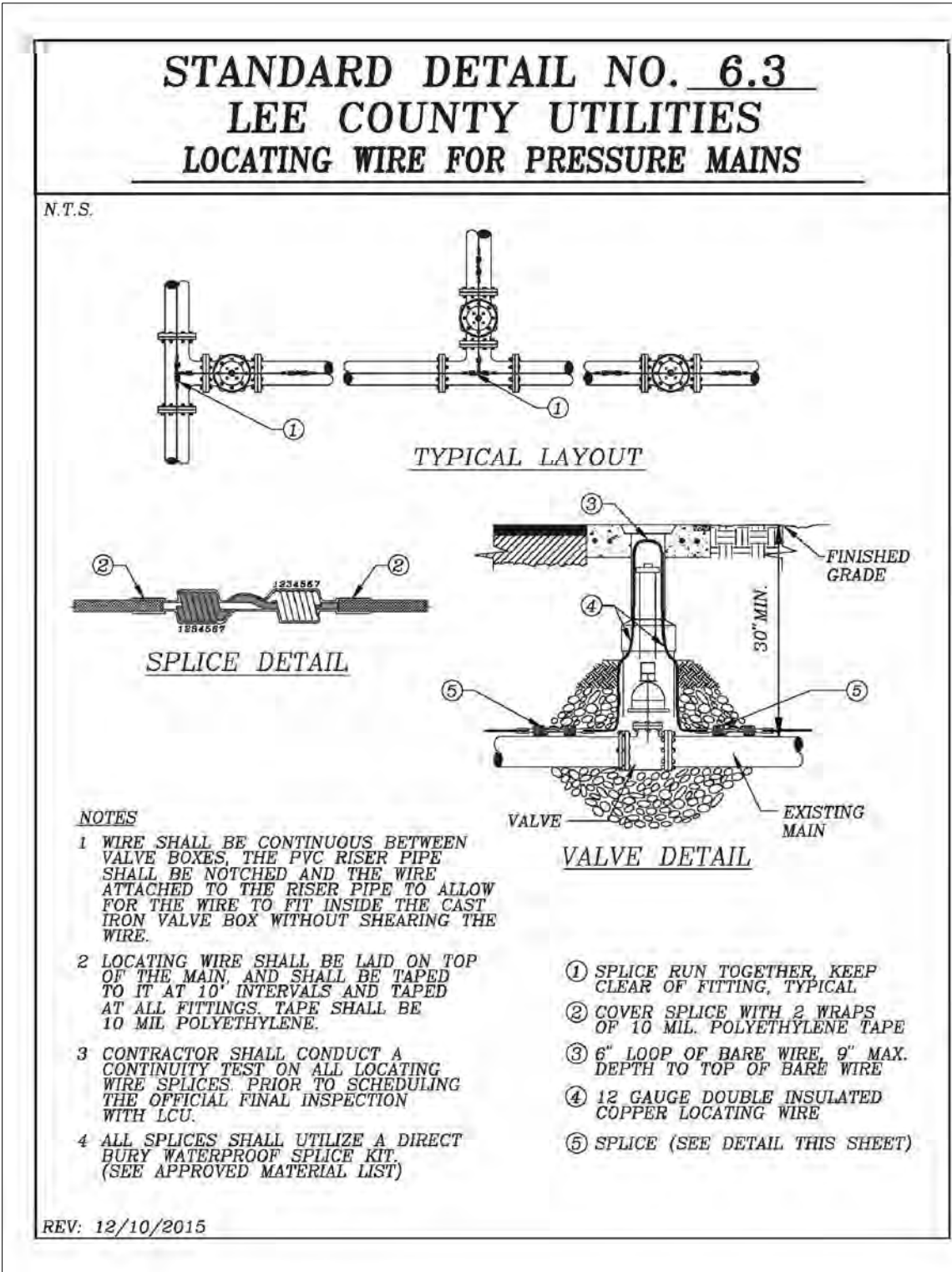
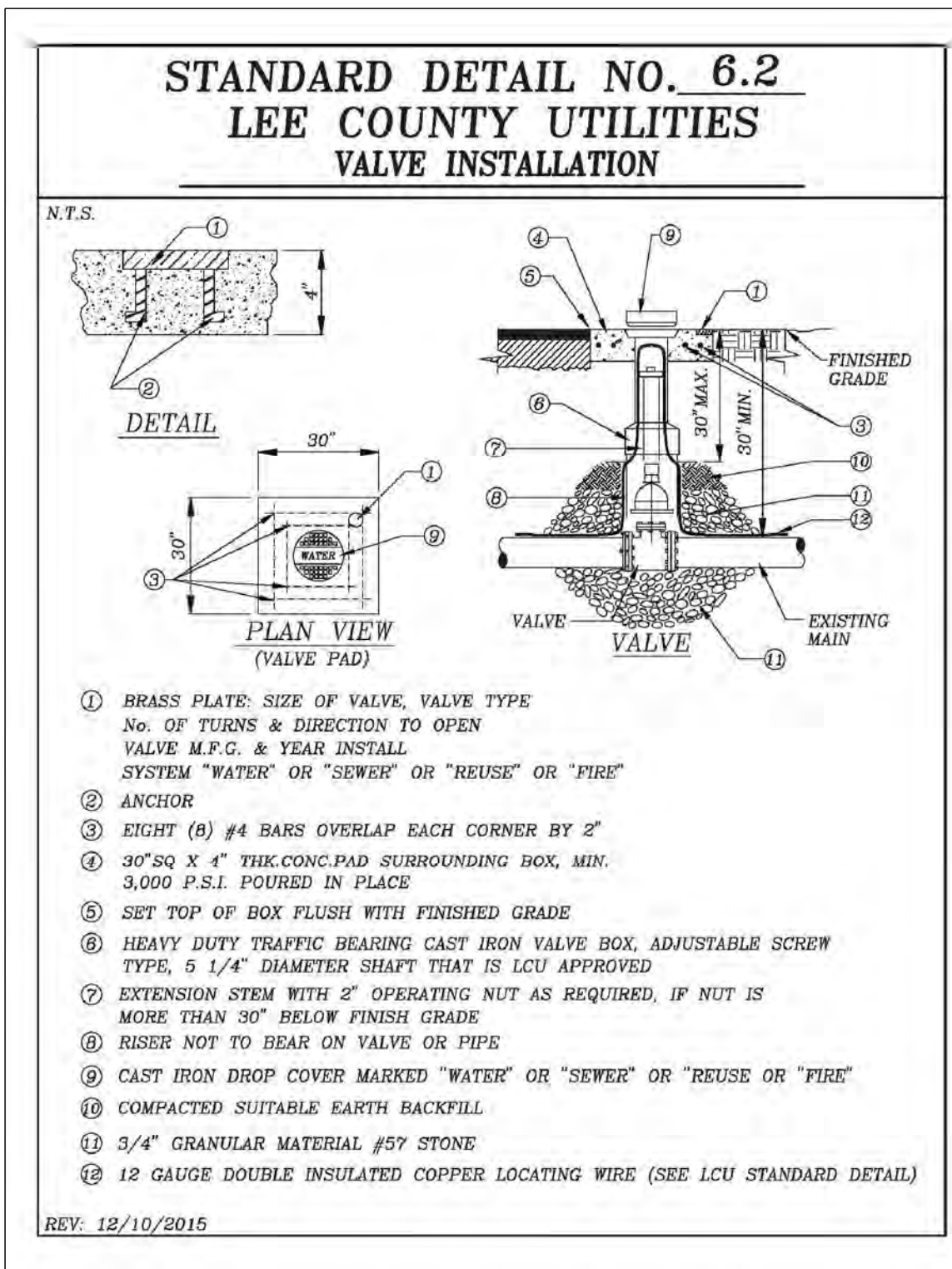
PLAN REVISIONS

PLAN STATUS

APPROVAL SUBMITTAL PLANS
09/06/2016

**STORMWATER
POLLUTION
PREVENTION PLAN**

PROJECT / FILE NO.	SHEET NUMBER
23371	C9.0



STANDARD DETAIL NO. 6.12 LEE COUNTY UTILITIES RESTRAINED LENGTH SCHEDULE

DUCTILE IRON PIPE

PIPE SIZE (Inches)	MINIMUM RESTRAINED PIPE LENGTH (FSEET)				DEAD END	HORIZONTAL TEE
	90°	45°	22-1/2°	11-1/4°		
4	17	7	4	2	29	6
6	23	10	5	3	40	17
8	29	12	6	3	53	29
10	36	14	7	4	63	38
12	41	17	8	4	74	49
16	51	21	11	5	94	66
24	69	29	14	7	131	105
30	81	34	17	8	168	120

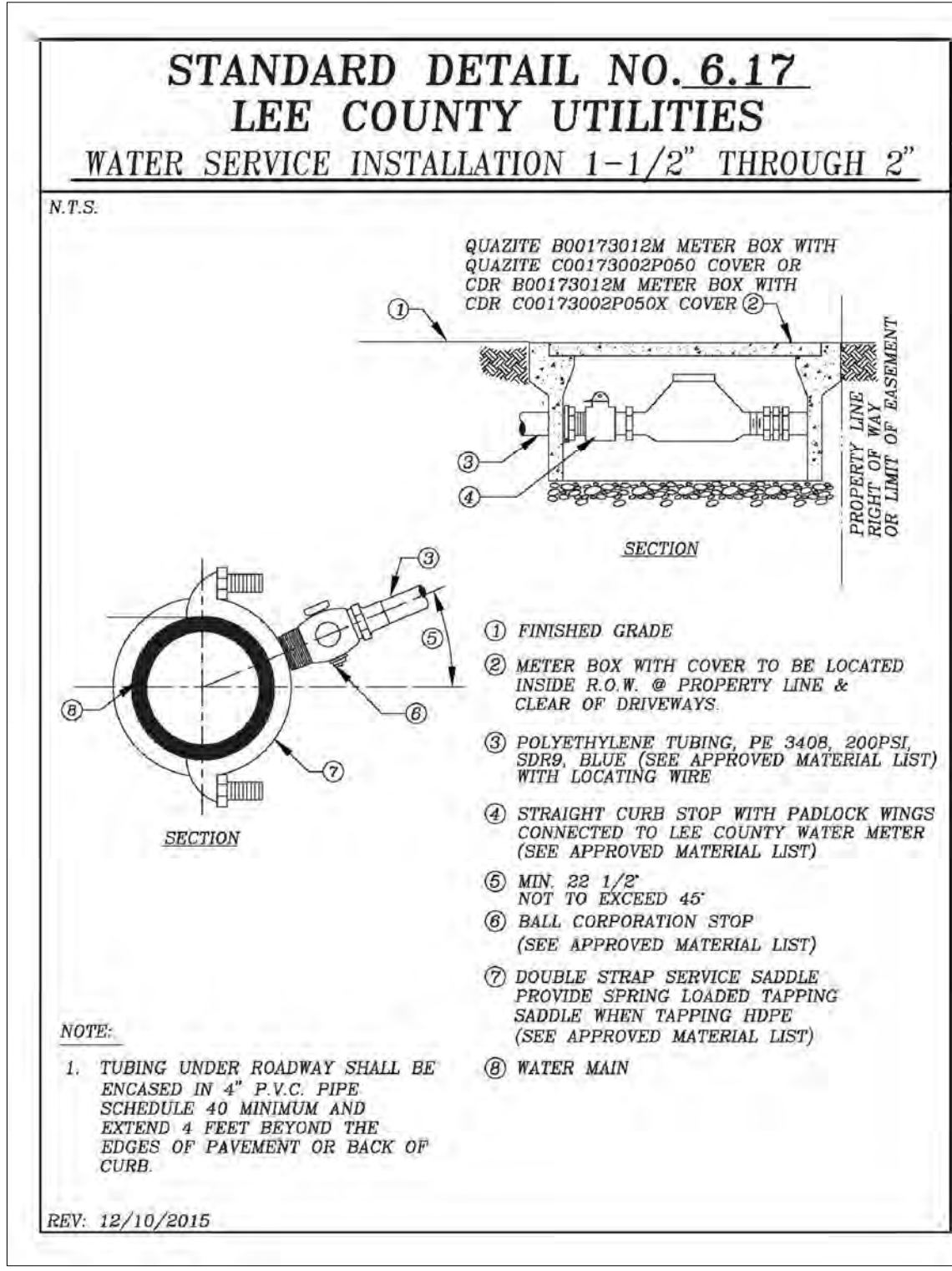
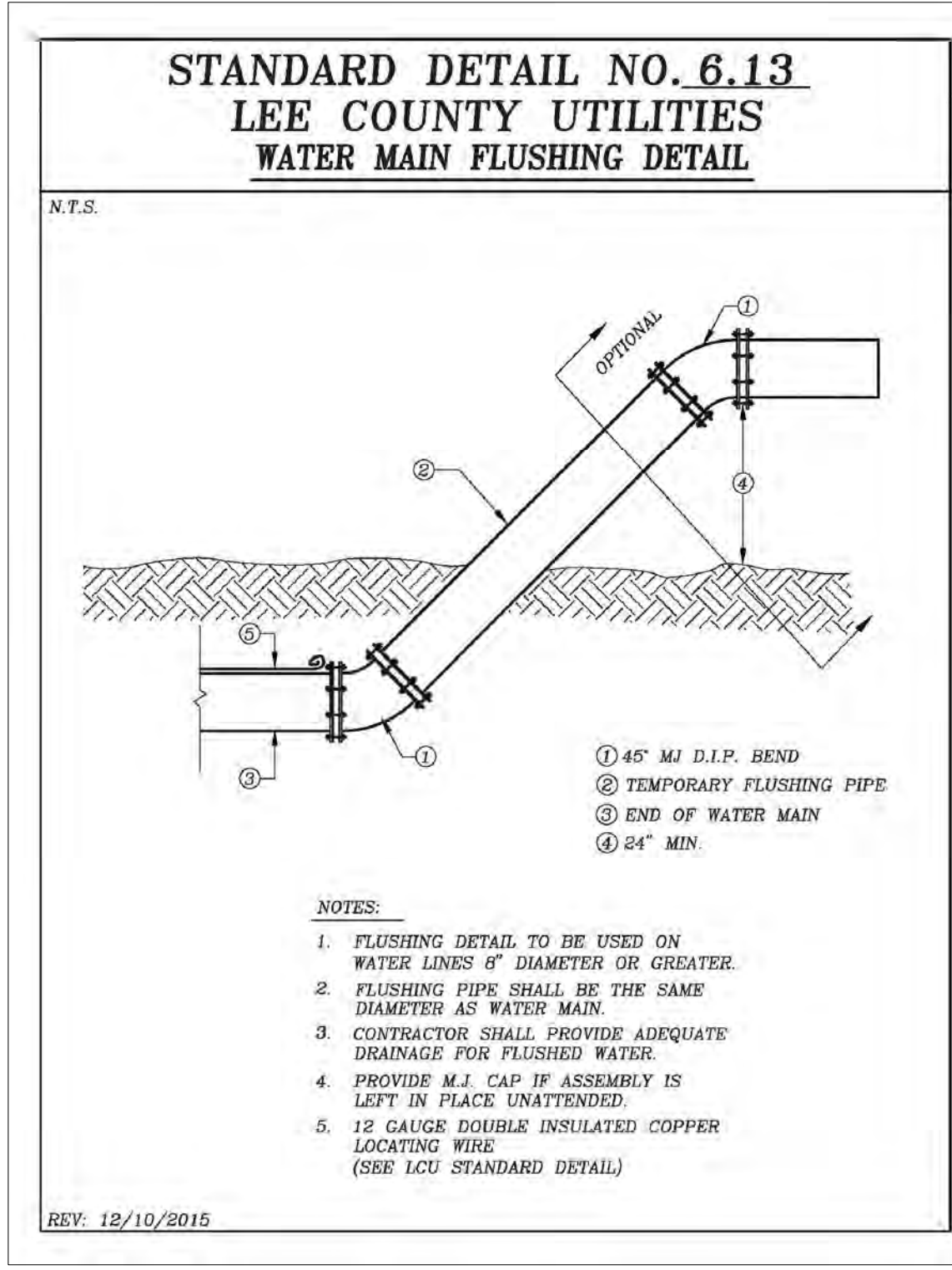
PVC PIPE

PIPE SIZE (Inches)	MINIMUM RESTRAINED PIPE LENGTH (FEET)				DEAD END	HORIZONTAL TEE
	90°	45°	22-1/2°	11-1/4°		
4	20	8	4	2	46	8
5	29	12	6	3	63	26
8	36	15	8	4	83	43
10	44	18	9	5	99	58
12	51	21	11	5	116	74
16	63	26	13	7	149	103
24	87	36	18	9	209	158
30	102	42	21	10	248	184

A COMPLETE JOINT RESTRAINING SCHEDULE FOR ALL ENCOUNTERED VERTICAL & HORIZONTAL BENDS, VERTICAL OFFSETS, TEES, AND DEAD ENDS SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER.

LENGTH FIGURES BASED ON FOLLOWING:
Pressure = 150 PSI, FS = 1.5, trench type = 3, 30" cover on Bare pipe, Soil type = GP & SP

REV. 12/10/2015



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FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

ALICO WEST FUND, L.L.C.

12800 UNIVERSITY DRIVE
SUITE 275
FORT MYERS, FLORIDA 33907

PHONE (239) 590-9066
FAX (239) 590-9065

PROJECT DESCRIPTION

FGCU CONNECTOR ROAD

PART OF SECTION 13
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD

WESLEY S. KAYNE, P.E., FOR THE FIRM
FLORIDA P.E. NO. 80507 - WSK@BARRACO.NET

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FILE NAME J:\23371\A70.DWG

LOCATION J:\23371\DWG\SPINEV

PLOT DATE TUE. 9-6-2016 - 10:59 AM

PLOT BY WES KAYNE

CROSS REFERENCED DRAWINGS

PLAN REVISIONS

PLAN STATUS

APPROVAL SUBMITTAL PLANS
09/06/2016

UTILITY DETAILS

PROJECT / FILE NO. **23371** SHEET NUMBER **C10.0**

**ALICO WEST
FUND, L.L.C.**

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SUITE 275
FORT MYERS, FLORIDA 33907

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PROJECT DESCRIPTION

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ROAD**

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LEE COUNTY, FLORIDA

ENGINEER OF RECORD

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PLOT DATE TUE, 9-8-2016 - 10:59 AM

PLOT BY WES KAYNE

CROSS REFERENCED DRAWINGS

PLAN REVISIONS

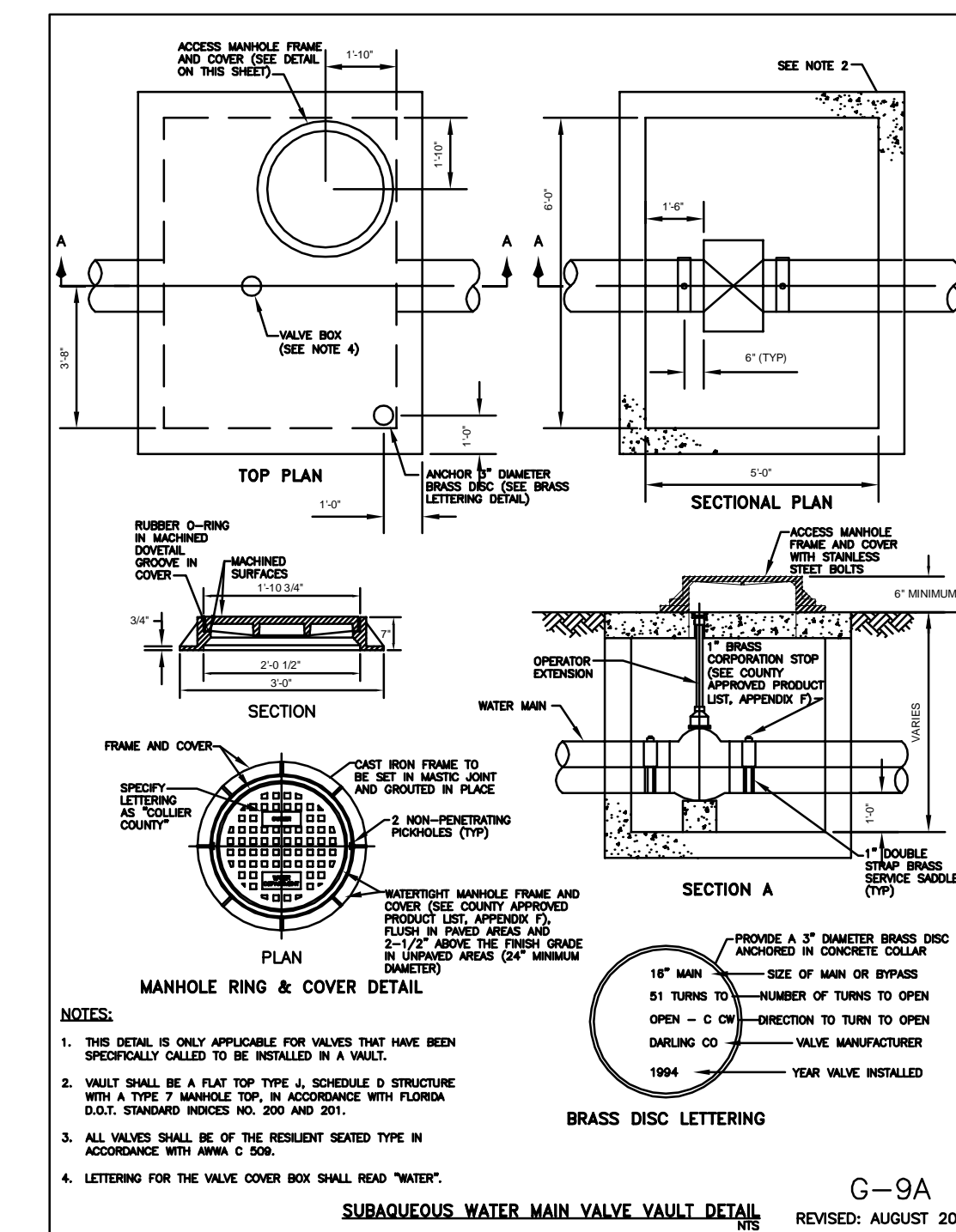
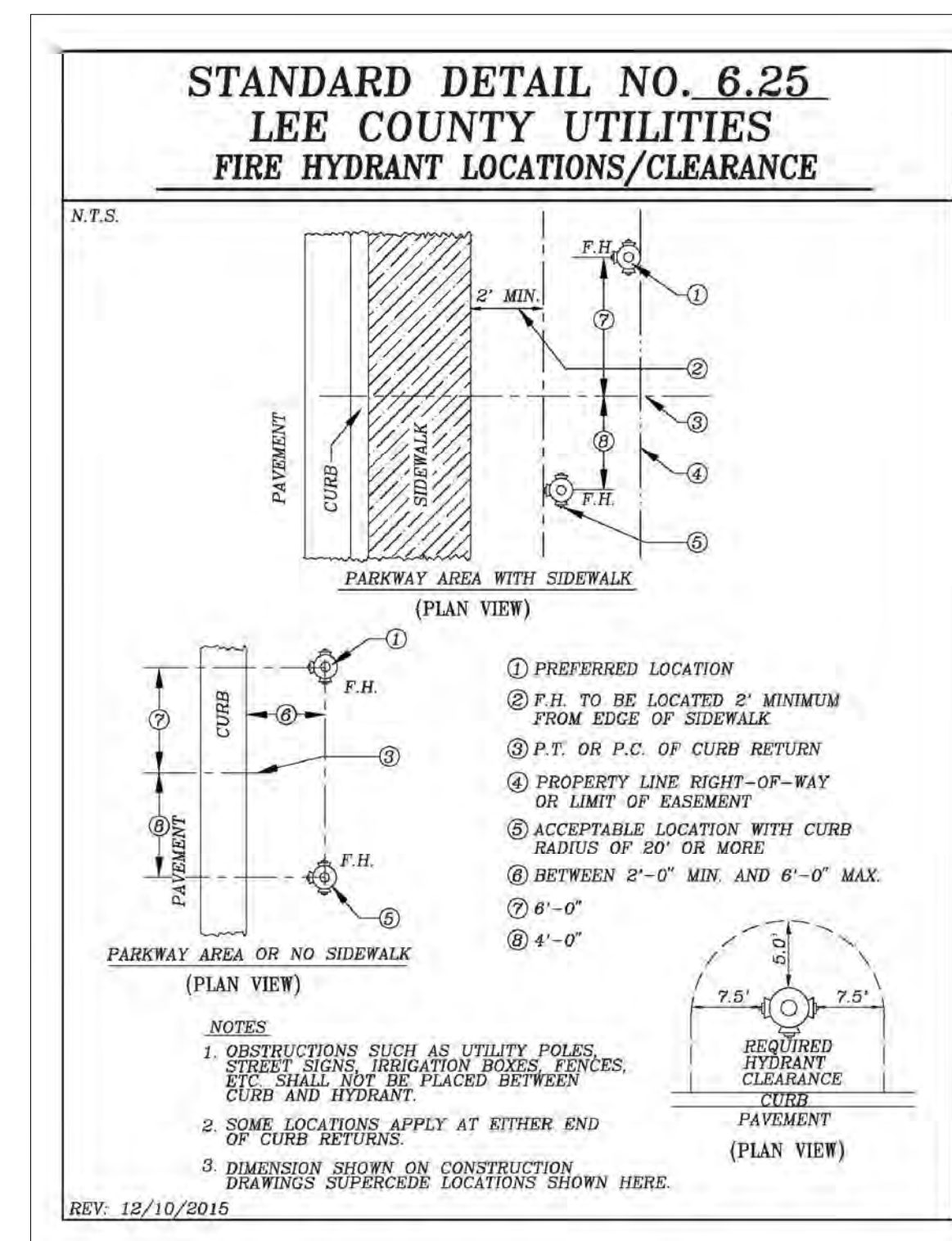
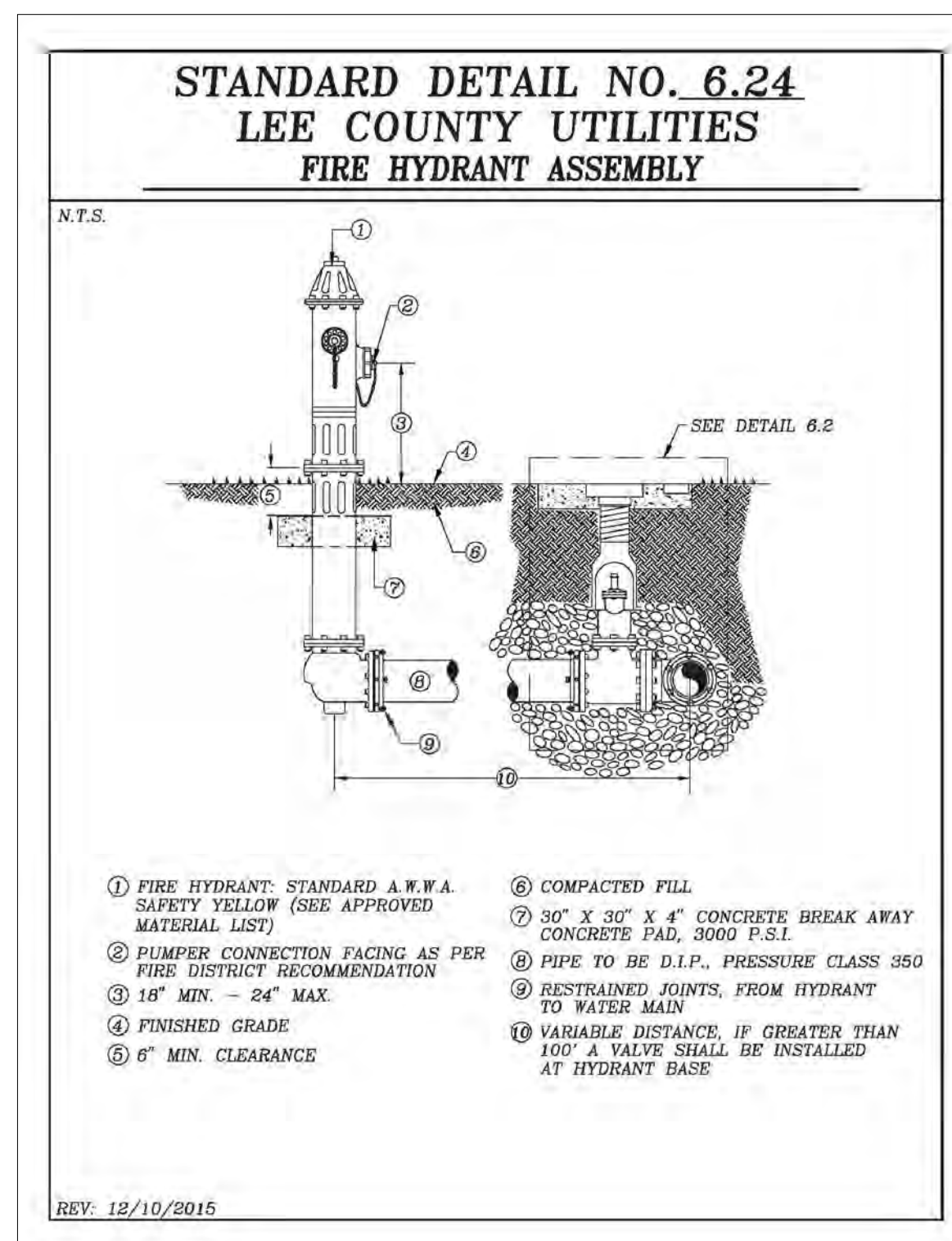
PLAN STATUS

APPROVAL SUBMITTAL PLANS
09/06/2016

UTILITY DETAILS

PROJECT / FILE NO. SHEET NUMBER

23371 C10.1



BRASS DISC LETTERING
SUBAQUEOUS WATER MAIN VALVE VAULT DETAIL

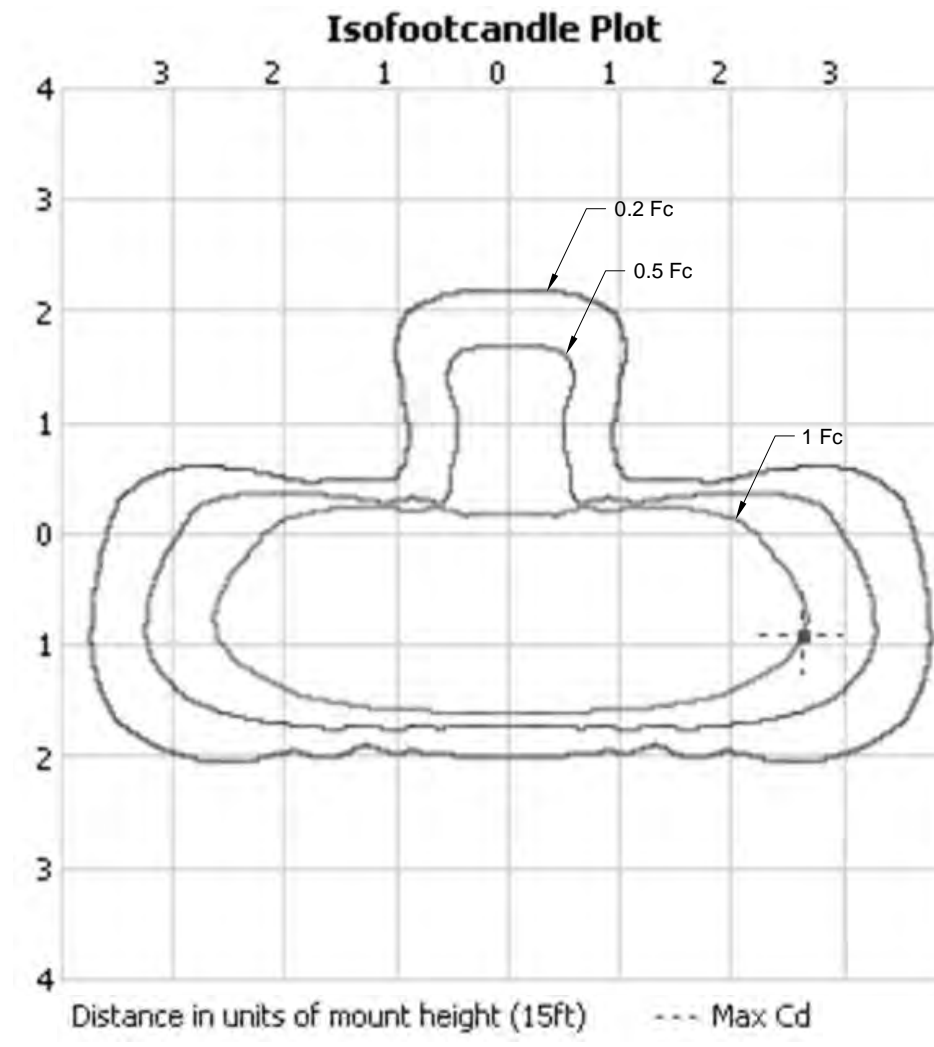
K705 Chicago Jr.

A 3/4 scaled version of the K805, the K705 Chicago Jr. offers a traditional, shrouded pendant designed to be used on its own in a street or area lighting system, or in combination with its matching K800 luminaire. This allows both roadway and pedestrian concerns to be individually met without any compromise.



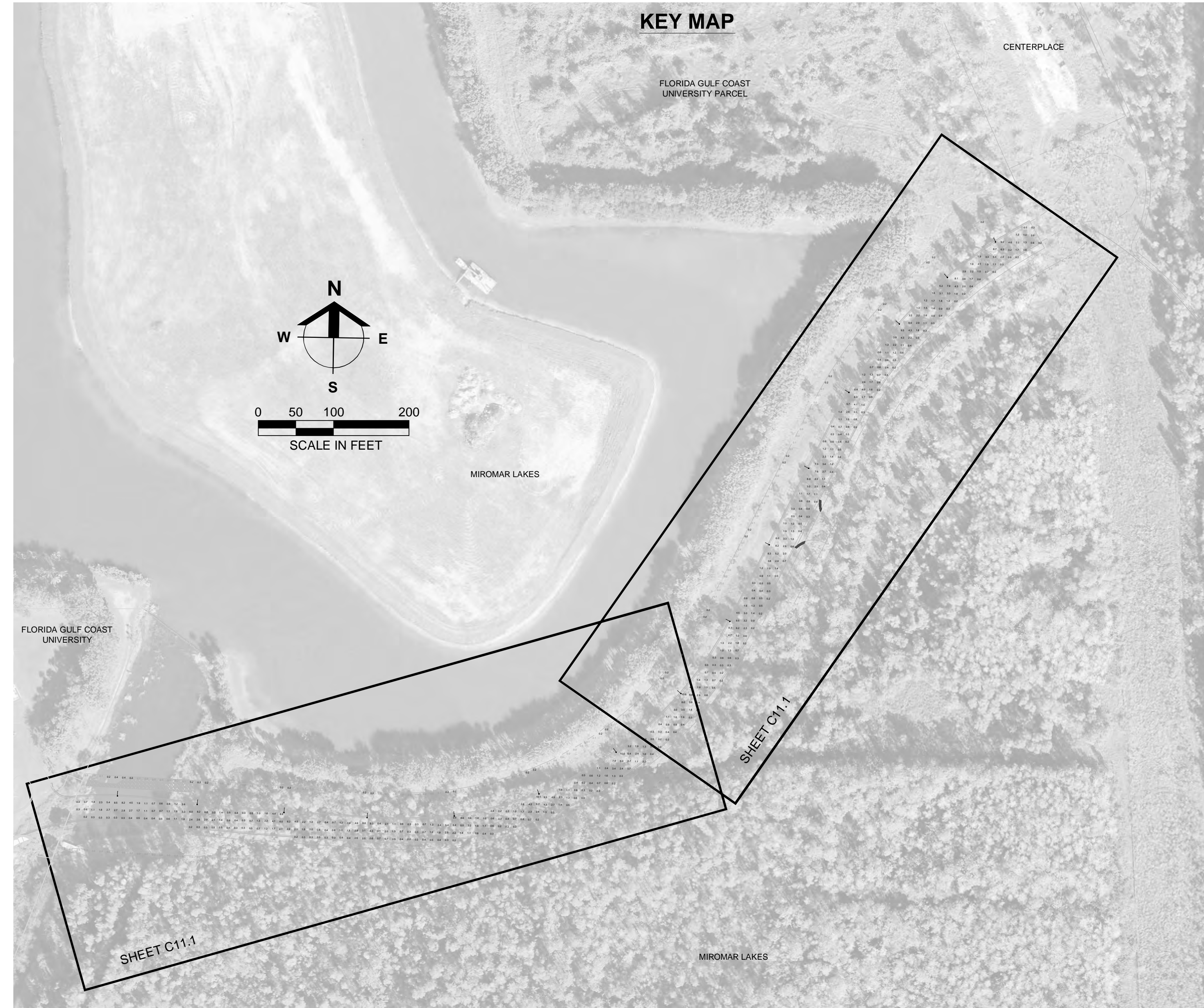
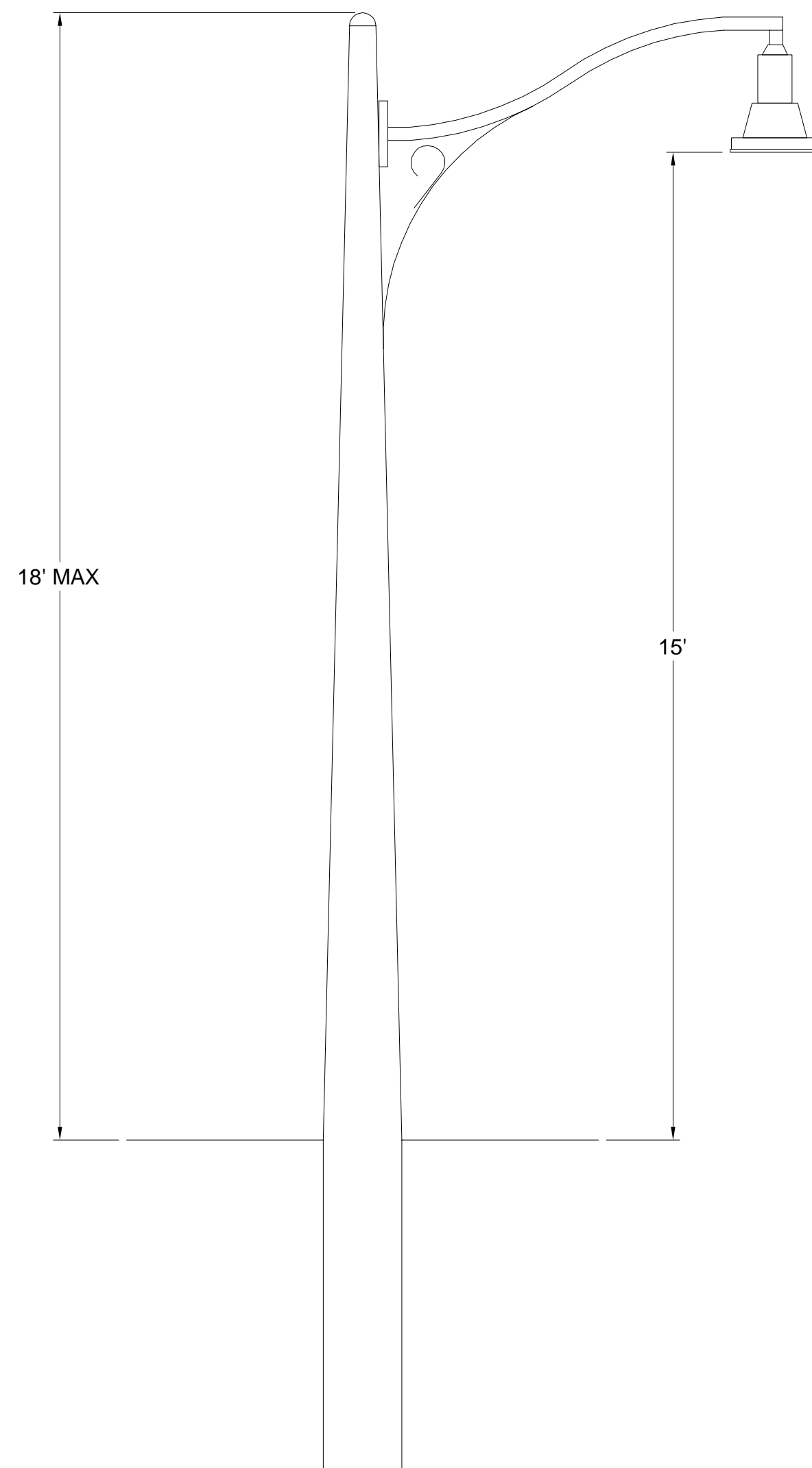
Features:

- Choice of high performance LED or HID optical systems
- Various photo control options available
- Choice of glass or acrylic lenses (flat, sag, shallow and deep dish)
- Opticlear™ sealed optical chamber for superior photometric and energy efficiency
- Hinged top for tool-free access and easy maintenance
- Numerous design features including plumbizers and decorative arms available



LUMINAIRE SCHEDULE					
SYMBOL	QTY	LABEL	DESCRIPTION	LUMENS/LAMP	LLF
—	15	700SP4FL310045	K700-P4FL-III-100(SSL)-7030	8150	1.000

NUMERIC SUMMARY							
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ROADWAY	ILLUMINANCE	Fc	1.9	10.8	0.2	9.4	54.0
NORTH BOUNDARY	ILLUMINANCE	Fc	0.1	0.4	0.0	N.A.	N.A.
SOUTH BOUNDARY	ILLUMINANCE	Fc	0.0	0.0	0.0	N.A.	N.A.



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PROJECT DESCRIPTION

FGCU CONNECTOR ROAD

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TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

ENGINEER OF RECORD

WESLEY S. KAYNE, P.E., FOR THE FIRM
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SURVEY =	23329500.DWG

PLAN REVISIONS

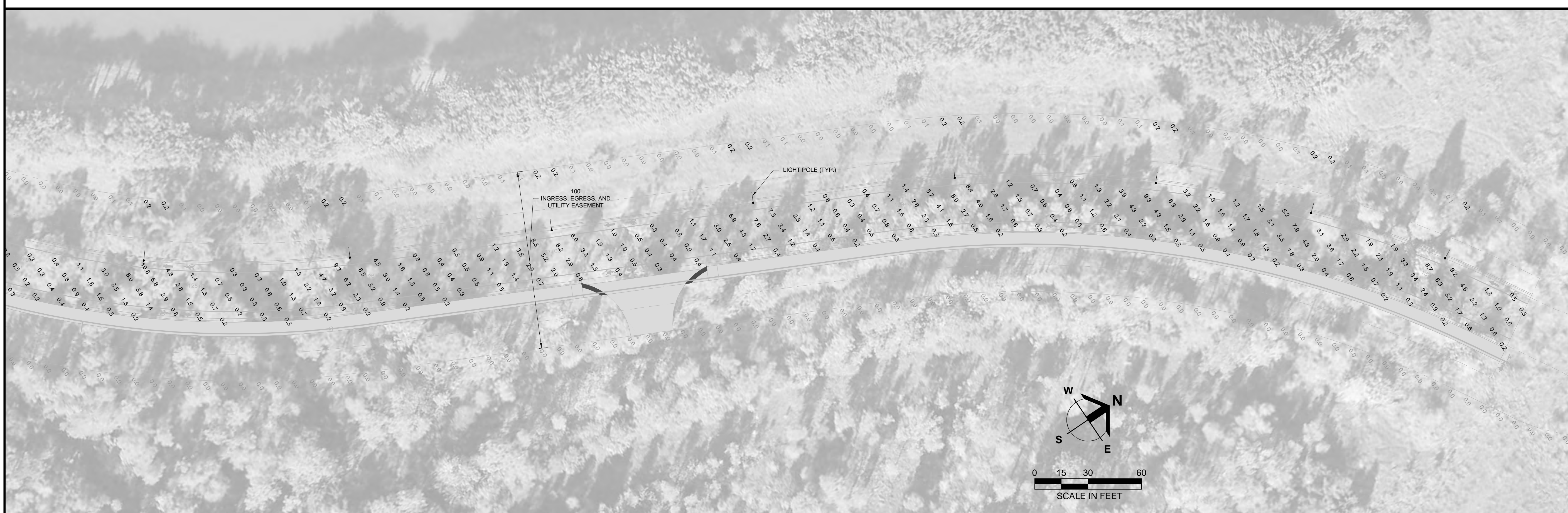
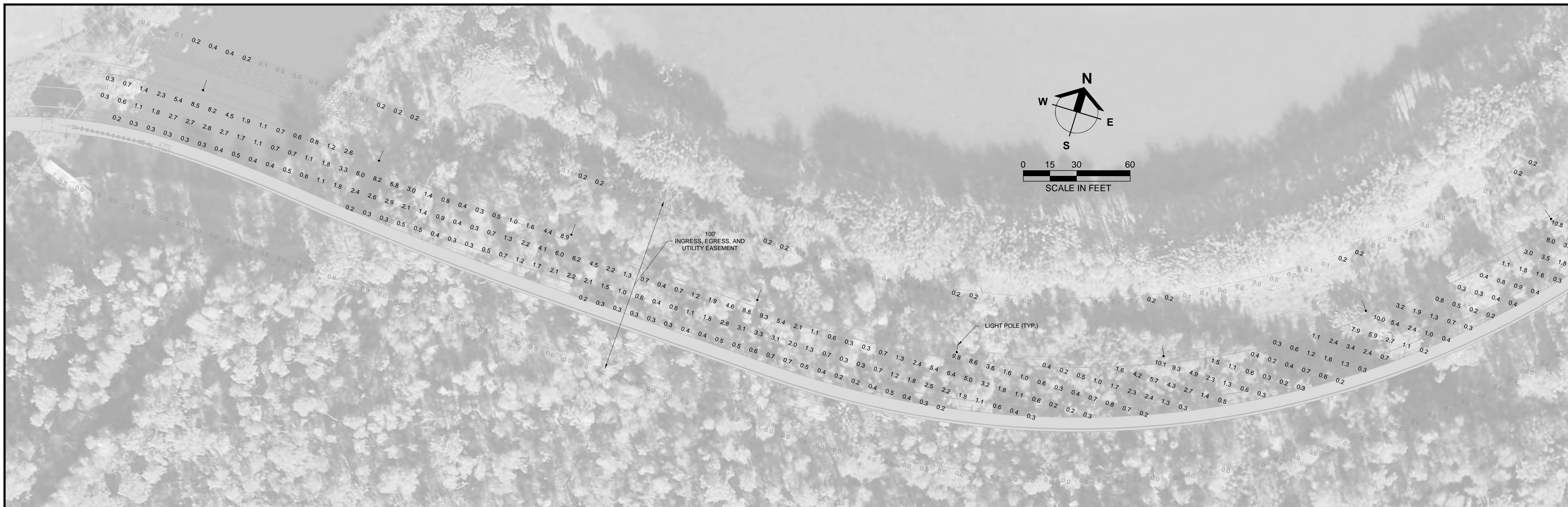
NO.	DESCRIPTION

PLAN STATUS

APPROVAL SUBMITTAL PLANS
09/06/2016

LIGHTING PLAN KEY MAP & DETAILS

PROJECT / FILE NO.	SHEET NUMBER
23371	C11.0



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PROJECT DESCRIPTION

FGCU CONNECTOR ROAD

PART OF SECTION 13
 TOWNSHIP 46 SOUTH, RANGE 25 EAST
 LEE COUNTY, FLORIDA

ENGINEER OF RECORD

WESLEY S. KAYNE, P.E., FOR THE FIRM
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PLOT BY	WES KAYNE

CROSS REFERENCED DRAWINGS
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 SURVEY = 23329500.DWG

PLAN REVISIONS	

PLAN STATUS

APPROVAL SUBMITTAL PLANS
 09/06/2016

LIGHTING PLANS

PROJECT / FILE NO.	SHEET NUMBER
23371	C11.1



Memorandum

Date: September 1, 2016
To: James P. Ward- District Manager
From: Bruce Bernard - Field Manager
Paul Cusmano – Asset Manager
Subject: Miromar Lakes CDD
Asset Management Report-August 2106
CGA Project # 14-7438

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& Highway Design
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Construction Engineering
& Inspection (CEI)
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Contract Government
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Electrical Engineering
Emergency Management
Engineering
Environmental Services
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Lake Maintenance

GHD has performed second quarterly samplings from within Lake 5 and the outfall structure within Lake 3, adjacent to I-75. The results have been shared with ML Development with regards to the SFWMD permit requirements. The sample results indicate that the nitrites and phosphorus levels in the lake water are within the targeted range, and the total suspended solids have improved (decreased). A copy of test results is attached.

The lake bank erosion restoration efforts budgeted through the CDD's Capital Improvements Program have commenced in the Verona Lago subdivision. The CDD's contractor (Greg Orick Marine Construction) has been issued a purchase order, and is presently obtaining the required permits to begin the repairs to the rip-rap lake bank properties where soil erosion has impacted the slopes within that subdivision. These repairs were deemed necessary by the CDD to be in compliance with the SFWM permits.

Phase 1 of the wetland plantings and barrier installations has been completed within the southeast section of Lake 5, and within the Portofino subdivision. Installations included 1,800 linear feet of barrier, 2200 wetland plantings, 15



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wetland trees, and project signage. See attached plantings photos of the portion within Lake 5.

Landscape Maintenance

Plant material for screening purposes was installed within the Ben Hill Griffin Parkway corridor on the west side of the berm adjacent to the St. Mortiz and Tivoli subdivisions. The material included twenty-three (23) 25 gallon Viburnum plants, and was installed in the area(s) that has exposure to the residential properties from the parkway. These initial plantings will be supplemented with additional landscaping improvements that are detailed within the landscape leaflet presented to the Board at last month's meeting. The supplemental landscape improvements for these St. Mortiz and Tivoli subdivisions have tentatively been scheduled for October 2018.

CDD staff along with Tammy Cook, Landscape Architect, has prepared a Landscaping Capital Improvement program for CDD properties. This program is based on a priority list prepared by staff. The program can begin after budget concerns arising from the Alico agreement and SFWM permit violation notice elements are addressed. See attached Landscaping Capital Program Budget

The Board recently awarded a contract extension in June to Estate Landscaping, Inc. with a caveat of reviewing the vendor's performance concerning the improvement of the landscaped areas currently being maintained by the vendor within a timeframe of between ninety (90) and one hundred and twenty (120) days. CDD Staff, after the extension was granted, met with Estate Landscaping and informed them of the dissatisfaction with their service(s) from both the Board and Staff level with respect to the past condition and performance levels for our site's landscape maintenance. Estate Landscaping was notified that the CDD is requiring a higher landscape standard be maintained throughout all of CDD owned properties.

Presently it has been observed that Estate Landscaping has continued to perform on the same status quo level as in the past, and is re-active rather than pro-active to issues concerning landscape matters on CCD maintained areas. CDD Staff at this time would recommend the rebidding of the CDD Landscape Maintenance contract to commence in January 2017. CDD Staff has had the bid documents reviewed both internally and by a Landscape Architect to enhance



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the language in the fertilization, pruning and irrigation sections, and also included the public records dialect.

Staff has contacted commercial landscape maintenance companies, and has multiple vendors awaiting the rebid opportunity that can be brought before the board at the November 2016 meeting. Staff feels, through conversations with a number of the companies, that the landscape maintenance contract will increase between five (5) to eighteen (18) percent over its present budgeted amount of \$440,000 per this fiscal year.

Stormwater Maintenance

Water levels both in the retention areas and lakes have been considerably higher than normal conditions due to the recent and routine rainfall events. The system design is based on head pressure (open channel /gravity) to direct the rainwater run-off to the retention areas until it reaches a design elevation (stage) prior to discharge through the outfall structure to the lake. Staff has inspected each retention area to ensure that they are operating per the drainage system design. Each retention area is retaining water per the design during heavy rain events, with these areas draining to the lakes once water levels reach their design overflow elevations.

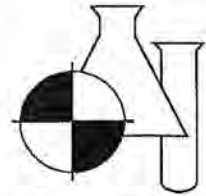
This month, CDD Staff has fielded multiple inquiries pertaining to standing water within the Districts retention areas, due to mosquito concerns. There have also been concerns expressed with the standing water within the roadways and driveways during these past few months of rain events. Residents have been directed to contact Lee County Mosquito Control for questions pertaining to mosquito spraying concerns.

Miromar Lakes Community Development District
Exhibit B

CALVIN, GIORDANO & ASSOCIATES, INC.																		
13-5692 MIROMAR LAKES CDD		YEAR 3																
Description of Service	Agreement Terms			Oct-15	Nov-15	Dec-15	Jan-16	Feb-16	Mar-16	Apr-16	May-16	Jun-16	Jul-16	Aug-16	Sep-16	YTD	Budget Variance	
	Hourly Rate	Hours	Total Fee															
WATER MANAGEMENT SERVICES																		
Procurement and Bidding Services	\$ 100.00	12	\$ 1,200.00													0	12.00	
Prepare Scope of Service for Contract	\$ 100.00	16	\$ 1,600.00							2				2		4	12.00	
Prepare Specifications ,Exhibits and Contract Execution	\$ 100.00	18	\$ 1,800.00				10	4	1	1		1	1	1		19	(1.00)	
Water Quality Meetings and Reporting	\$ 100.00	15	\$ 1,500.00		2	3	2	1				1				9	6.00	
Operations and Maintenance Services	\$ 80.00	115	\$ 9,200.00	18	14	24	26	10	8	8	6	6	5	4		129	(14.00)	
Sub-Total:		176	\$ 15,300.00	18	16	27	38	15	9	9	8	8	6	7		161	15	
LANDSCAPING SERVICES																		
Procurement and Bidding Services	\$ 100.00	18	\$ 1,800.00						6	2	4	2	2	3		19	(1.00)	
Prepare Scope of Service for Contract	\$ 100.00	12	\$ 1,200.00	2					1					2		5	7.00	
Prepare Specifications, Exhibits and Contract Execution	\$ 100.00	25	\$ 2,500.00		4	2		2						8		16	9.00	
Landscape and Irrigation Site Meetings	\$ 100.00	12	\$ 1,200.00	4	3	4	3	4	2	4	8	4	5	5		46	(34.00)	
Operations and Maintenance Services	\$ 80.00	250	\$ 20,000.00	20	22	21	12	22	18	16	20	20	21	26		218	32.00	
Sub-Total:		317	\$ 26,700.00	26	29	27	15	28	27	22	32	26	28	44		304	16	
ASSET MONITORING																		
Procurement and Bidding Services	\$ 100.00	10	\$ 1,000.00						2		2	1				5	5.00	
Prepare Scope of Service for Contract	\$ 100.00	10	\$ 1,000.00	2					2							4	6.00	
Prepare Specifications, Exhibits and Contract Execution	\$ 100.00	25	\$ 2,500.00		2	2	12	2				1	4	1		24	1.00	
Regulatory Meetings, Annual Training and Monthly Inspections	\$ 100.00	45	\$ 4,500.00	4	8	8	6	4	2	4	2	2				40	5.00	
Operations and Maintenance Services	\$ 80.00	80	\$ 6,400.00	8	8	10	8	16	8	18	10	6	6	6		104	(24.00)	
Sub-Total:		170	\$ 15,400.00	14	18	20	26	22	16	22	14	10	10	7		177	-7	
ADMINISTRATIVE MATTERS																		
Maintain electronic files, attendance at Board Meeting, general matters (all)	\$ 70.00	100	\$ 7,000.00	8	8	8	10	8	8	8	8	8	8	8		90	10.00	
Sub-Total:		100	\$ 64,400.00	8	8	8	10	8	8	8	8	8	8	8		90	10.00	
Total: All Hours		763		66	71	82	89	73	60	63	62	52	52	66		732	31	

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EnviroAnalytical Inc.



NBLAC Certification #E84167

ANALYTICAL TEST REPORT

THESE RESULTS MEET NELAC STANDARDS

Submission Number : 16080189

G H D Services, Inc.
2675 Winkler Ave., Ste.180
Fort Myers, FL 33901

Project Name : QUARTERLY MIROMAR LAKES WQM
Date Received : 08/04/2016
Time Received : 1420

Submission Number:	16080189	Sample Date:	08/03/2016
Sample Number:	001	Sample Time:	1134
Sample Description:	WQ Location #1	Sample Method:	Grab

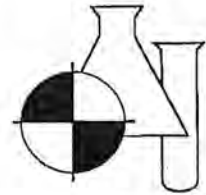
Parameter	Result	Units	MDL	PQL	Procedure	Analysis Date/Time	Analyst
AMMONIA NITROGEN	0.026 I	MG/L	0.008	0.032	350.1	08/08/2016 12:49	SJ
TOTAL KJELDAHL NITROGEN	0.878	MG/L	0.05	0.20	351.2	08/09/2016 10:45	PN
TOTAL NITROGEN	0.878	MG/L	0.05	0.20	353+351	08/09/2016 10:45	PN/SW
NITRATE+NITRITE AS N	0.004 U	MG/L	0.004	0.016	353.2	08/05/2016 15:21	SW
ORTHO PHOSPHORUS AS P	0.071	MG/L	0.002	0.008	365.3	08/04/2016 18:02	BLB
TOTAL PHOSPHORUS AS P	0.091	MG/L	0.008	0.032	365.3	08/08/2016 14:27	SJ/BLB
CHLOROPHYLL A, CORRECTED	7.32	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
PHEOPHYTIN	0.906 I	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
TOTAL SUSPENDED SOLIDS	3.49	MG/L	0.570	2.280	SM2540D	08/04/2016 14:30	E85086
BIOCHEMICAL OXYGEN DEMAND	1 U	MG/L	1	4	SM5210B	08/04/2016 15:46	LD/LD

Submission Number:	16080189	Sample Date:	08/03/2016
Sample Number:	002	Sample Time:	1119
Sample Description:	WQ Location #2	Sample Method:	Grab

Parameter	Result	Units	MDL	PQL	Procedure	Analysis Date/Time	Analyst
AMMONIA NITROGEN	0.019 I	MG/L	0.008	0.032	350.1	08/08/2016 12:51	SJ
TOTAL KJELDAHL NITROGEN	1.15	MG/L	0.05	0.20	351.2	08/09/2016 10:46	PN
TOTAL NITROGEN	1.15	MG/L	0.05	0.20	353+351	08/09/2016 10:46	PN/SW
NITRATE+NITRITE AS N	0.004 U	MG/L	0.004	0.016	353.2	08/05/2016 15:22	SW
ORTHO PHOSPHORUS AS P	0.070	MG/L	0.002	0.008	365.3	08/04/2016 18:04	BLB
TOTAL PHOSPHORUS AS P	0.087	MG/L	0.008	0.032	365.3	08/08/2016 13:37	SJ/BLB
CHLOROPHYLL A, CORRECTED	7.28	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
PHEOPHYTIN	0.958 I	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
TOTAL SUSPENDED SOLIDS	3.90	MG/L	0.570	2.280	SM2540D	08/04/2016 14:30	E85086

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NELAC Certification #E84167

BIOCHEMICAL OXYGEN DEMAND 1 U MG/L 1 4 SM5210B 08/04/2016 15:48 LD/LD

Submission Number: 16080189 **Sample Date:** 08/03/2016
Sample Number: 003 **Sample Time:** 1044
Sample Description: WQ Location #3A **Sample Method:** Grab

Parameter	Result	Units	MDL	PQL	Procedure	Analysis Date/Time	Analyst
AMMONIA NITROGEN	0.029 l	MG/L	0.008	0.032	350.1	08/08/2016 12:53	SJ
TOTAL KJELDAHL NITROGEN	0.949	MG/L	0.05	0.20	351.2	08/09/2016 10:48	PN
TOTAL NITROGEN	0.949	MG/L	0.05	0.20	353+351	08/09/2016 10:48	PN/SW
NITRATE+NITRITE AS N	0.004 U	MG/L	0.004	0.016	353.2	08/05/2016 15:23	SW
ORTHO PHOSPHORUS AS P	0.012	MG/L	0.002	0.008	365.3	08/05/2016 09:54	BLB
TOTAL PHOSPHORUS AS P	0.026 l	MG/L	0.008	0.032	365.3	08/05/2016 18:19	SJ/BLB
CHLOROPHYLL A, CORRECTED	8.71	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
PHEOPHYTIN	1.62	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
TOTAL SUSPENDED SOLIDS	6.42	MG/L	0.570	2.260	SM2540D	08/04/2016 14:30	E85086
BIOCHEMICAL OXYGEN DEMAND	1 U	MG/L	1	4	SM5210B	08/04/2016 15:48	LD/LD

Submission Number: 16080189 **Sample Date:** 08/03/2016
Sample Number: 004 **Sample Time:** 1054
Sample Description: WQ Location #3B **Sample Method:** Grab

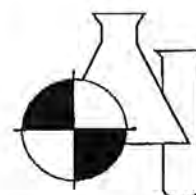
Parameter	Result	Units	MDL	PQL	Procedure	Analysis Date/Time	Analyst
AMMONIA NITROGEN	0.015 l	MG/L	0.008	0.032	350.1	08/08/2016 12:55	SJ
TOTAL KJELDAHL NITROGEN	0.880	MG/L	0.05	0.20	351.2	08/09/2016 10:49	PN
TOTAL NITROGEN	0.880	MG/L	0.05	0.20	353+351	08/09/2016 10:49	PN/SW
NITRATE+NITRITE AS N	0.004 U	MG/L	0.004	0.016	353.2	08/05/2016 15:25	SW
ORTHO PHOSPHORUS AS P	0.064	MG/L	0.002	0.008	365.3	08/04/2016 18:10	BLB
TOTAL PHOSPHORUS AS P	0.098	MG/L	0.008	0.032	365.3	08/08/2016 14:51	SJ/BLB
CHLOROPHYLL A, CORRECTED	7.05	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
PHEOPHYTIN	1.20	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
TOTAL SUSPENDED SOLIDS	5.78	MG/L	0.570	2.280	SM2540D	08/04/2016 14:30	E85086
BIOCHEMICAL OXYGEN DEMAND	1 U	MG/L	1	4	SM5210B	08/04/2016 15:48	LD/LD

Submission Number: 16080189 **Sample Date:** 08/03/2016
Sample Number: 005 **Sample Time:** 1005
Sample Description: WQ Location #4 **Sample Method:** Grab

Parameter	Result	Units	MDL	PQL	Procedure	Analysis Date/Time	Analyst
AMMONIA NITROGEN	0.023 l	MG/L	0.008	0.032	350.1	08/08/2016 12:56	SJ

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NELAC Certification #E84167

TOTAL KJELDAHL NITROGEN	0.887	MG/L	0.05	0.20	351.2	08/09/2016 10:50	PN
TOTAL NITROGEN	0.887	MG/L	0.05	0.20	353+351	08/09/2016 10:50	PN/SW
NITRATE+NITRITE AS N	0.004 U	MG/L	0.004	0.016	353.2	08/05/2016 15:26	SW
ORTHO PHOSPHORUS AS P	0.017	MG/L	0.002	0.008	365.3	08/05/2016 09:52	BLB
TOTAL PHOSPHORUS AS P	0.021 l	MG/L	0.008	0.032	365.3	08/05/2016 18:21	SJ/BLB
CHLOROPHYLL A, CORRECTED	7.11	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
PHEOPHYTIN	0.706 l	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
TOTAL SUSPENDED SOLIDS	2.84	MG/L	0.570	2.280	SM2540D	08/04/2016 14:30	E85086
BIOCHEMICAL OXYGEN DEMAND	1 U	MG/L	1	4	SM5210B	08/04/2016 15:46	LD/LD

Submission Number: 16080189

Sample Date: 08/03/2016

Sample Number: 006

Sample Time: 0830

Sample Description: WQ Location #5 Lake #3 Outfall

Sample Method: Grab

Parameter	Result	Units	MDL	PQL	Procedure	Analysis Date/Time	Analyst
AMMONIA NITROGEN	0.033	MG/L	0.008	0.032	350.1	08/08/2016 12:58	SJ
TOTAL KJELDAHL NITROGEN	0.845	MG/L	0.05	0.20	351.2	08/09/2016 11:18	PN
TOTAL NITROGEN	0.845	MG/L	0.05	0.20	353+351	08/09/2016 11:18	PN/SW
NITRATE+NITRITE AS N	0.004 U	MG/L	0.004	0.016	353.2	08/05/2016 15:27	SW
ORTHO PHOSPHORUS AS P	0.022	MG/L	0.002	0.008	365.3	08/04/2016 18:14	BLB
TOTAL PHOSPHORUS AS P	0.065	MG/L	0.008	0.032	365.3	08/08/2016 13:04	SJ/BLB
CHLOROPHYLL A, CORRECTED	15.1	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
PHEOPHYTIN	2.99	MG/M3	0.25	1.00	445.0	08/16/2016 13:00	DN
TOTAL SUSPENDED SOLIDS	4.10	MG/L	0.570	2.280	SM2540D	08/04/2016 14:30	E85086
BIOCHEMICAL OXYGEN DEMAND	1.31 l	MG/L	1	4	SM5210B	08/04/2016 15:46	LD/LD

**Miromar Lakes Landscaping Enhancement
Capital Improvement Program**

Allocation per year	\$109,868	\$122,030	\$160,000	\$172,940	\$220,000	\$220,000	\$394,770
Location of Improvement	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7 and beyond
1. St. Moritz & Tivoli * (Private side of berm)	\$28,500						
2. Sienna *	\$31,350						
3. Valencia *	\$34,320						
4. Verona Lago (West Street berm & retention area screening)		\$30,350					
5. Parkway Golf Cart Bridge (Both sides on all four quadrants)		\$27,500	\$82,500				
6. Parkway Golf Cart Bridge (median planting around guardrail) & Ben Hill Griffin			\$59,180	\$149,820			
7. Ben Hill Griffin Pkwy (Berms south of main entrance)- not including Porto Romano & San Marino		\$47,460			\$157,589		
8. Ben Hill Griffin Pkwy (Berms north of main entrance)	\$11,198				\$39,291	\$196,880	
9. San Marino (West berm)							\$96,000
10. Lake 5 (South berm)							\$191,650
11. I-75 Berm (300 foot section only of 11,098)							\$60,000
12. I-75 Sign Feature Planting (per each)							\$24,000
13. CEI/Landscape Architect to visit	\$4,500	\$16,720	\$18,320	\$23,120	\$23,120	\$23,120	\$23,120
14. Total estimated expenditures	\$109,868	\$122,030	\$160,000	\$172,940	\$220,000	\$220,000	\$394,770
Discounts/Collection Fees:	\$4,944	\$5,491	\$7,200	\$7,782	\$9,900	\$9,900	\$17,765
Total Estimated Expenditures	\$114,812	\$127,521	\$167,200	\$180,722	\$229,900	\$229,900	\$412,535
Number of Units	2026	2026	2026	2026	2026	2026	2026
Estimated Rate per Unit	\$56.67	\$62.94	\$82.53	\$89.20	\$113.47	\$113.47	\$203.62
Current Adopted Assessment Rate:	672.77						
Capacity Per Unit Remaining to CAP	67.21						







Miromar Lakes Community Development District

Financial Statements

August 31, 2016



Visit our web site: www.miromarlakescdd.org

Prepared by:

JPWARD AND ASSOCIATES LLC

***2041 NE 6TH TERRACE
FORT LAUDERDALE, FLORIDA 33305
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PHONE: (954) 658-4900***

Miromar Lakes Community Development District

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JPWard & Associates, LLC
2041 NE 6th Terrace
Fort Lauderdale, Florida 33305

**Miromar Lakes Community Development District
Balance Sheet
for the Period Ending August 31, 2016**

	Governmental Funds				Account Groups		Totals (Memorandum Only)
	General Fund	Series 2012	Series 2015	Capital Project Fund	General Long Term Debt	General Fixed Assets	
Assets							
Cash and Investments							
General Fund - Invested Cash	\$ 614,978	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 614,978
Debt Service Fund							
Interest Account	-	-	-	-	-	-	-
Sinking Account	-	-	-	-	-	-	-
Reserve Account	-	443,511	863,852	-	-	-	1,307,363
Revenue	-	427,038	722,003	-	-	-	1,149,041
Prepayment Account	-	0	-	-	-	-	0
Due from Other Funds							
General Fund	-	-	-	-	-	-	-
Debt Service Fund(s)	-	-	-	-	-	-	-
Market Valuation Adjustments							
Accrued Interest Receivable	-	-	-	-	-	-	-
Assessments Receivable	-	-	-	-	-	-	-
Accounts Receivable	-	-	-	-	-	-	-
Amount Available in Debt Service Funds	-	-	-	-	870,549	-	870,549
Amount to be Provided by Debt Service Funds	-	-	-	-	28,784,451	-	28,784,451
Investment in General Fixed Assets (net of depreciation)	-	-	-	-	-	40,376,020	40,376,020
Total Assets	\$ 614,978	\$ 870,549	\$ 1,585,855	\$ -	\$ 29,655,000	\$ 40,376,020	\$ 73,102,402

Miromar Lakes Community Development District
Balance Sheet
for the Period Ending August 31, 2016

	Governmental Funds				Account Groups		Totals (Memorandum Only)
	General Fund	Series 2012	Series 2015	Capital Project Fund	General Long Term Debt	General Fixed Assets	
Liabilities							
Accounts Payable & Payroll Liabilities	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Due to Other Funds							-
General Fund	-	-	-	-	-	-	-
Debt Service Fund(s)	-	-	-	-	-	-	-
Bonds Payable							-
Current Portion	-	-	-	-	-	-	-
Long Term	-	-	-	-	29,655,000	-	29,655,000
Total Liabilities	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 29,655,000</u>	<u>\$ -</u>	<u>\$ 29,655,000</u>
Fund Equity and Other Credits							
Investment in General Fixed Assets					-	40,376,020	40,376,020
Fund Balance							
Restricted							
Beginning: October 1, 2015 (Audited)	-	836,409	1,670,657	-	-	-	2,507,065
Results from Current Operations	-	34,140	(84,802)	-	-	-	(50,662)
Unassigned							
Beginning: October 1, 2015 (Audited)	166,119				-	-	166,119
Results from Current Operations	448,859				-	-	448,859
Total Fund Equity and Other Credits	<u>\$ 614,978</u>	<u>\$ 870,549</u>	<u>\$ 1,585,855</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 40,376,020</u>	<u>\$ 43,447,402</u>
Total Liabilities, Fund Equity and Other Credits	<u>\$ 614,978</u>	<u>\$ 870,549</u>	<u>\$ 1,585,855</u>	<u>\$ -</u>	<u>\$ 29,655,000</u>	<u>\$ 40,376,020</u>	<u>\$ 73,102,402</u>

Miromar Lakes Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through August 31., 2016

Description	October	November	December	January	February	March	April	May	June	July	August	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources														
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-	\$ -	N/A
Interest														
Interest - General Checking	14	12	33	29	19	21	24	22	20	21	18	233	300	78%
Special Assessment Revenue														
Special Assessments - On-Roll	419	136,497	544,403	32,356	24,765	8,198	16,873	11,892	15,104	-	-	790,506	788,521	100%
Special Assessments - Off-Roll	129,967	-	-	-	-	129,967	129,967	-	129,967	-	-	519,869	519,869	100%
Miscellaneous Revenue														
	-	-	-	-	-	-	-	-	1,333	24,539	-	25,872	0	N/A
Intragovernmental Transfer In														
	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Total Revenue and Other Sources:	\$ 130,400	\$ 136,508	\$ 544,436	\$ 32,384	\$ 24,785	\$ 138,187	\$ 146,864	\$ 11,914	\$ 146,424	\$ 24,560	\$ 18	1,336,481	\$ 1,308,690	102%
Expenditures and Other Uses														
Legislative														
Board of Supervisor's - Fees	-	2,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	11,000	12,000	92%
Board of Supervisor's - Taxes	-	153	77	77	77	77	77	77	77	77	-	765	918	83%
Executive														
Professional Management	3,333	3,333	3,333	3,333	3,333	3,333	3,333	3,333	3,333	3,333	3,333	36,667	40,000	92%
Financial and Administrative														
Audit Services	-	-	5,000	-	-	-	-	-	-	-	-	5,000	5,000	100%
Accounting Services	-	-	-	-	335	-	-	-	-	-	-	335	-	N/A
Assessment Roll Services	-	-	18,000	-	-	-	-	-	-	-	-	18,000	18,000	100%
Arbitrage Rebate Services	500	-	-	500	-	-	-	-	-	-	-	1,000	1,000	100%
Other Contractual Services														
Legal Advertising	-	-	-	-	-	-	-	-	42	-	-	42	1,200	4%
Trustee Services	-	3,091	-	-	-	-	5,859	-	-	-	-	8,949	7,900	113%
Property Appraiser/Tax Collector Fees	-	-	-	-	-	-	1,033	-	-	-	-	1,033	2,400	43%
Bank Services	31	43	30	31	36	34	46	47	34	47	36	415	550	76%
Travel and Per Diem														
	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Communications & Freight Services														
Postage, Freight & Messenger	118	-	142	29	105	-	45	212	46	82	46	825	400	206%
Insurance														
	-	-	5,665	-	-	-	-	-	-	-	-	5,665	5,800	98%
Printing & Binding														
	413	80	36	123	40	32	103	146	191	128	124	1,416	1,200	118%
Website Development														
	-	-	-	-	-	-	-	-	-	-	100	100	1,000	10%
Office Supplies														
	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Subscription & Memberships														
	175	-	-	-	-	-	-	-	-	-	-	175	175	100%
Legal Services														
Legal - General Counsel	-	13,130	3,965	-	-	3,705	-	-	-	3,676	6,688	31,164	20,000	156%

Miromar Lakes Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through August 31., 2016

Description	October	November	December	January	February	March	April	May	June	July	August	Year to Date	Total Annual Budget	% of Budget
Legal - Litigation	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Legal - Center Place	-	-	-	-	-	-	-	-	-	-	-	-	40,000	0%
Legal - Center Place - Litigation Counsel	-	94,471	99,560	(155,729)	6,646	1,706	3,489	225	2,632	1,658	15,502	70,160	250,000	28%
Other General Government Services														
Engineering Services - General Fund	-	-	5,531	1,583	-	1,579	546	1,424	3,349	-	1,871	15,883	20,000	79%
NPDES	-	-	-	-	-	560	554	1,200	-	-	600	2,914	2,500	117%
Asset Administration Services	583	583	583	583	-	583	583	583	1,167	583	583	6,417	7,000	92%
Center Place	-	-	5,274	(3,453)	-	-	-	-	-	-	-	1,821	100,000	2%
Sub-Total:	5,153	116,884	148,197	(151,923)	11,572	12,609	16,668	8,247	11,870	10,584	29,883	219,745	537,043	41%
Stormwater Management Services														
Professional Management														
Asset Management	1,983	1,983	1,983	1,983	-	1,983	1,983	1,983	3,967	1,983	1,983	21,817	23,800	92%
Mitigation Monitoring	-	-	-	-	-	-	-	-	-	-	-	-	500	0%
Utility Services														
Electric - Aeration Systems	-	424	440	454	492	406	408	446	859	-	432	4,360	500	872%
Lake System														
Aquatic Weed Control	5,464	5,464	5,464	5,464	5,464	-	10,928	6,914	5,464	5,464	5,464	61,554	65,568	94%
Lake Bank Maintenance	-	-	-	-	-	-	-	-	-	-	-	-	5,000	0%
Water Quality Testing	-	-	-	-	-	-	-	-	-	2,950	-	2,950	3,800	78%
Water Control Structures	-	770	7,000	-	-	-	-	-	-	-	-	7,770	9,500	82%
Grass Carp Installation	-	-	-	-	-	-	-	-	-	-	-	-	30,000	0%
Litoral Shelf Barrier/Replanting	-	-	-	-	-	-	-	-	-	-	-	-	18,000	0%
Aeration System	-	-	-	-	-	-	-	9,479	-	-	-	9,479	3,500	271%
Wetland System														
Routine Maintenance	3,133	3,133	3,133	3,133	3,133	-	6,267	3,133	3,133	3,133	3,133	34,467	49,600	69%
Other Current Charges	-	-	-	-	-	-	-	-	-	-	-	-	3,000	0%
Capital Outlay														
Aerator's	-	-	-	-	-	-	-	-	-	-	-	-	9,750	0%
Sub-Total:	10,581	11,775	18,021	11,035	9,089	2,389	19,586	21,955	13,423	13,531	11,012	142,396	222,518	64%
Landscaping Services														
Professional Management														
Asset Management	2,867	2,867	2,867	2,867	-	2,867	2,867	2,867	5,733	2,867	2,867	31,533	34,400	92%
Utility Services														
Electric	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Irrigation Water	-	-	-	1,777	-	-	1,000	1,777	-	1,777	-	6,332	5,000	127%
Repairs & Maintenance														

Miromar Lakes Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through August 31., 2016

Description	October	November	December	January	February	March	April	May	June	July	August	Year to Date	Total Annual Budget	% of Budget
Public Area Landscaping	-	34,570	-	61,162	-	29,846	51,810	59,479	61,227	70,819	23,585	392,498	434,029	90%
Landscape Lighting	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Irrigation System	-	-	-	-	-	-	-	23,539	-	-	-	23,539	7,500	314%
Well System	-	-	-	-	-	198	-	-	-	59	549	806	2,500	32%
Plant Replacement	-	-	-	-	-	-	-	-	-	-	4,248	4,248	20,000	21%
Other Current Charges												-		
Lee County -Ben Hill Griffin Landscape	-	34,599	-	-	-	-	-	-	-	-	-	34,599	30,000	115%
Charlotte County - Panther Habitat, Fire	-	372	-	-	-	-	-	-	-	-	-	372	700	53%
Operating Supplies														
Mulch	-	-	-	-	-	-	-	26,055	-	5,498	-	31,553	15,000	210%
Sub-Total:	2,867	72,408	2,867	65,806	-	32,911	55,677	113,718	66,960	81,020	31,248	525,481	549,129	96%
Total Expenditures and Other Uses:	\$ 18,601	\$ 201,067	\$ 169,084	\$ (75,081)	\$ 20,661	\$ 47,909	\$ 91,931	\$ 143,920	\$ 92,253	\$ 105,135	\$ 72,143	887,622	\$ 1,308,690	68%
Net Increase/ (Decrease) in Fund Balance	111,800	(64,559)	375,353	107,465	4,124	90,278	54,933	(132,006)	54,172	(80,575)	(72,126)	448,859	-	
Fund Balance - Beginning	166,119	277,919	213,360	588,712	696,178	700,301	790,579	845,512	713,507	767,678	687,104	166,119	146,131	
Fund Balance - Ending	\$ 277,919	\$ 213,360	\$ 588,712	\$ 696,178	\$ 700,301	\$ 790,579	\$ 845,512	\$ 713,507	\$ 767,678	\$ 687,104	\$ 614,978	614,978	\$ 146,131	

Miromar Lakes Community Development District
Debt Service Fund - Series 2012 Bonds
Statement of Revenues, Expenditures and Changes in Fund Balance
Through August 31, 2016

Description	October	November	December	January	February	March	April	May	June	July	August	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources														
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-	\$ -	N/A
Interest Income														
Reserve Account	35,497	1,840	0	0	0	0	0	7,355	0	0	0	44,696	15,000	298%
Prepayment Account	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	2	2	1	1	4	4	5	5	2	2	2	30	30	100%
Special Assessment Revenue														
Special Assessments - On-Roll	437	142,417	568,016	33,759	25,839	8,554	17,605	12,408	15,759	-	-	824,794	820,346	101%
Special Assessments - Off-Roll	-	-	-	-	-	-	164,074	-	-	-	-	164,074	164,074	100%
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 35,937	\$ 144,259	\$ 568,017	\$ 33,761	\$ 25,844	\$ 8,558	\$ 181,684	\$ 19,767	\$ 15,761	\$ 3	\$ 3	1,033,594.05	\$ 999,450	N/A
Expenditures and Other Uses														
Debt Service														
Principal Debt Service - Mandatory														
Series 2012 Bonds	-	-	-	-	-	-	-	420,000	-	-	-	420,000	\$ 420,000	100%
Principal Debt Service - Early Redemptions														
Series 2012 Bonds	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Interest Expense														
Series 2012 Bonds	-	289,725	-	-	-	-	-	289,729	-	-	-	579,454	579,450	100%
Operating Transfers Out (To Other Funds)	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ 289,725	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 709,729	\$ -	\$ -	\$ -	999,454	\$ 999,450	N/A
Net Increase/ (Decrease) in Fund Balance	35,937	(145,466)	568,017	33,761	25,844	8,558	181,684	(689,962)	15,761	3	3	34,140	-	
Fund Balance - Beginning	836,409	872,346	726,880	1,294,897	1,328,658	1,354,502	1,363,060	1,544,744	854,782	870,544	870,546	836,409	866,391	
Fund Balance - Ending	\$ 872,346	\$ 726,880	\$ 1,294,897	\$ 1,328,658	\$ 1,354,502	\$ 1,363,060	\$ 1,544,744	\$ 854,782	\$ 870,544	\$ 870,546	\$ 870,549	\$ 870,549	\$ 866,391	

Miromar Lakes Community Development District
Debt Service Fund - Series 2015 Bonds
Statement of Revenues, Expenditures and Changes in Fund Balance
Through August 31, 2016

Description	October	November	December	January	February	March	April	May	June	July	August	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources														
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-	\$ 177,380	0%
Interest Income														
Reserve Account	84,850	4,363	0	0	0	0	0	17,579	0	0	0	106,793	15,000	712%
Prepayment Account	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	2	133	1	2	2	2	2	3	4	4	4	157	-	N/A
Special Assessment Revenue														
Special Assessments - On-Roll	53	17,110	68,242	4,056	3,104	1,028	2,115	1,491	1,893	-	-	99,092	98,463	101%
Special Assessments - Off-Roll	-	-	-	-	-	-	1,410,287	-	-	-	-	1,410,287	1,410,287	100%
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)														
Bond Proceeds	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 84,904	\$ 21,606	\$ 68,244	\$ 4,058	\$ 3,107	\$ 1,029	\$ 1,412,404	\$ 19,072	\$ 1,897	\$ 4	\$ 4	\$ 1,616,328	\$ 1,701,130	N/A
Expenditures and Other Uses														
Debt Service														
Principal Debt Service - Mandatory														
Series 2012 Bonds	-	-	-	-	-	-	-	610,000	-	-	-	610,000	\$ 610,000	100%
Principal Debt Service - Early Redemptions														
Series 2012 Bonds	-	-	-	-	-	-	-	-	-	-	-	-	-	N/A
Interest Expense														
Series 2012 Bonds	-	636,493	-	-	-	-	-	454,638	-	-	-	1,091,130	1,091,130	100%
Operating Transfers Out (To Other Funds)														
Total Expenditures and Other Uses:	\$ -	\$ 636,493	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,064,638	\$ -	\$ -	\$ -	\$ 1,701,130	\$ 1,701,130	N/A
Net Increase/ (Decrease) in Fund Balance	84,904	(614,887)	68,244	4,058	3,107	1,029	1,412,404	(1,045,565)	1,897	4	4	(84,802)	-	
Fund Balance - Beginning	1,670,657	1,755,561	1,140,674	1,208,918	1,212,975	1,216,082	1,217,112	2,629,515	1,583,950	1,585,847	1,585,851	-	-	
Fund Balance - Ending	\$ 1,755,561	\$ 1,140,674	\$ 1,208,918	\$ 1,212,975	\$ 1,216,082	\$ 1,217,112	\$ 2,629,515	\$ 1,583,950	\$ 1,585,847	\$ 1,585,851	\$ 1,585,855	(84,802)	\$ -	